

PRD-410
4-83

CASE

NUMBER:

99-181

McBRAYER, MCGINNIS, LESLIE & KIRKLAND PLLC

163 WEST SHORT STREET

SUITE 300

LEXINGTON, KENTUCKY 40507-1361

606-231-8780

FACSIMILE 606-231-6518

REAL ESTATE FAX 606-255-9777

WWW.MMLK.COM

W. TERRY McBRAYER
JOHN R. MCGINNIS
PHILLIP BRUCE LESLIE *
WILLIAM D. KIRKLAND
J. D. ATKINSON, JR.
JAMES G. AMATO
GEORGE D. GREGORY **
BRENT L. CALDWELL
W. BRENT RICE
JAMES H. FRAZIER, III +
STEPHEN C. CAWOOD
LISA ENGLISH HINKLE
WILLIAM R. PALMER, JR.
BRUCE W. MACDONALD *
LUKE BENTLEY III
STEPHEN G. AMATO
MARY ESTES HAGGIN
R. STEPHEN MCGINNIS ++
JON A. WOODALL
MARIA S. BUCKLES
MARGARET M. YOUNG
MELINDA G. WILSON
REBECCA L. BRIGGS
MARY ELIZABETH CUTTER
J. BRADFORD DERIFIELD ++
JARON P. BLANDFORD

* ALSO ADMITTED IN OHIO
** ALSO ADMITTED IN COLORADO
+ ALSO ADMITTED IN TEXAS & FLORIDA
++ ALSO ADMITTED IN WEST VIRGINIA

WATSON CLAY (1908-1985)
OSCAR SAMMONS (1908-1985)

MAIN & HARRISON STREETS
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GREENUP, KENTUCKY 41144-0280
606-473-7303
FACSIMILE 606-473-9003

300 STATE NATIONAL
BANK BUILDING
P. O. BOX 1100
FRANKFORT, KENTUCKY 40602-1100
502-223-1200
FACSIMILE 502-227-7385

DIRECTOR OF GOVERNMENTAL RELATIONS
MIKE HELTON
STATE NATIONAL BANK BUILDING
305 ANN STREET
SUITE 308
FRANKFORT, KENTUCKY 40601-2847
502-875-1176
FACSIMILE 502-226-6234

November 4, 1999

Ms. Helen C. Helton, Executive Director
Public Service Commission
730 Schenkel Lane
Frankfort, KY 40602

RECEIVED
NOV - 8 1999
PUBLIC SERVICE
COMMISSION

**RE: Kentucky RSA No. 1 Partnership - PSC Case No. 99-181
(The Paducah West Cell Facility)**

Dear Ms. Helton:

Pursuant to the Commission's Order dated July 16, 1999 I am enclosing herewith for filing the final determination of the Kentucky Airport Zoning Commission. Thank you for your attention to this matter

Sincerely,



W. Brent Rice
Counsel for Kentucky RSA No. 1
Partnership

WBR/dkw

Enclosures



Kentucky Airport Zoning Commission
125 Holmes Street
Frankfort, KY 40622

(502) 564-4480
Fax (502) 564-7953
No.: AS-073-PAH-98-288

November 2, 1999

CORRECTED

APPROVAL OF APPLICATION

APPLICANT:
KENTUCKY RSA NO. 1 PARTNERSHIP
LEE SICA, COORDINATOR - REGULARORY APP
245 PERIMETER CENTER PARKWAY
Atlanta, GA 30346

R. Bland
11/3/99

SUBJECT: AS-073-PAH-98-288

STRUCTURE: Antenna Tower
LOCATION: Paducah, KY
COORDINATES: 37°05'47.0"N / 88°42'35.0"W
HEIGHT: ~~300' AGL / 642' AMSL~~

208' AGL / 550' AMSL

The Kentucky Airport Zoning Commission has approved your application for a permit to construct (300' AGL/642' AMSL) Antenna Tower near Paducah, KY 37°05'47"N, 88°42'35"W.

This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit.

A copy of the approved application is enclosed for your files.

Dual obstruction lighting is required in accordance with 602 KAR 50.100..

R. Bland
Ronald Bland, Administrator

INDEX FOR CASE: 99-181
KENTUCKY RSA #1 PARTNERSHIP
Construct
CELL SITE-MEREDITH RD-PADUCAH WEST-MCCRACKEN

IN THE MATTER OF APPLICATION OF KENTUCKY RSA NO. 1
PARTNERSHIP FOR ISSUANCE OF A CERTIFICATE OF PUBLIC
CONVENIENCE AND NECESSITY TO CONSTRUCT AN ADDITIONAL CELL
FACILITY IN THE KENTUCKY RURAL SERVICE AREA NO. 1 WHICH
INCLUDES FULTON, HICKMAN, CARLISLE, BALLARD, MCCRACKEN,
GRAVES, MARSHALL AND CALLOWAY COUNTIES IN KENTUCKY (THE
PADUCAH WEST CELL FACILITY)

SEQ NBR	ENTRY DATE	REMARKS
0001	05/06/99	Application
M0001	05/10/99	W. BRENT RICE/KY RSA NO. 1-FOLLOW-UP LETTER ON FILING APPLICATION BY 5/7/99
0002	05/13/99	Acknowledgement letter.
0003	05/20/99	No deficiencies letter
0004	07/16/99	Final Order granting a Certificate to construct & operate the Paducah West site.



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

CERTIFICATE OF SERVICE

RE: Case No. 99-181
KENTUCKY RSA #1 PARTNERSHIP

I, Stephanie Bell, Secretary of the Public Service Commission, hereby certify that the enclosed attested copy of the Commission's Order in the above case was served upon the following by U.S. Mail on July 16, 1999.

Parties of Record:

Ms. Charon Harris
Director, Regulatory Matters
Kentucky RSA #1 Partnership
1 GTE Place
MC GA3B1REG
Alpharetta, GA. 30004 8511

Honorable W. Brent Rice
Counsel for KY RSA #1 Partnership
McBrayer, McGinnis, Leslie &
Kirkland
163 West Short Street
Suite 300
Lexington, KY. 40507 1361


Secretary of the Commission

SB/hv
Enclosure

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF KENTUCKY RSA NO. 1 PARTNERSHIP)
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC)
CONVENIENCE AND NECESSITY TO CONSTRUCT AN)
ADDITIONAL CELL FACILITY IN THE KENTUCKY RURAL) CASE NO.
SERVICE AREA NO. 1 WHICH INCLUDES FULTON,) 99-181
HICKMAN, CARLISLE, BALLARD, MCCRACKEN,)
GRAVES, MARSHALL, AND CALLOWAY COUNTIES IN)
KENTUCKY (THE PADUCAH WEST CELL FACILITY))

O R D E R

On May 6, 1999, Kentucky RSA No. 1 Partnership filed an application seeking a Certificate of Public Convenience and Necessity to build and operate a cellular radio telecommunications system for Rural Service Area No. 1 ("RSA No. 1"). RSA No. 1 includes Ballard, Calloway, Carlisle, Fulton, Graves, Hickman, Marshall, and McCracken counties. Kentucky RSA No. 1 Partnership has requested authorization to construct a cell site in McCracken County. Kentucky RSA No. 1 Partnership was previously granted authority to operate a cellular radio telecommunications system in RSA No. 1 in Case No. 92-107.¹

The proposed cell site consists of a 211-foot or less guyed antenna tower to be located off Meredith Road, Paducah, McCracken County, Kentucky

¹ Case No. 92-107, Application of Kentucky RSA No. 1 Partnership for Issuance of a Certificate of Public Convenience and Necessity to Construct an Additional Cell Facility in Kentucky Rural Service Area No. 1 (Draffenville Cell Facility).

("the Paducah West cell site"). The coordinates for the Paducah West cell site are North Latitude 37° 05' 47.2" by West Longitude 88° 42' 35.2".

Kentucky RSA No. 1 Partnership has provided information regarding the structure of the tower, safety measures, and antenna design criteria for the Paducah West cell site. Based upon the application, the design of the tower and foundation conforms to applicable nationally recognized building standards, and a Registered Professional Engineer has certified the plans.

Pursuant to 807 KAR 5:063, Section 1, Kentucky RSA No. 1 Partnership notified the McCracken County Judge/Executive of the pending construction. Kentucky RSA No. 1 Partnership has filed applications with the Federal Aviation Administration ("FAA") and the Kentucky Airport Zoning Commission ("KAZC") for the construction and operation of the Paducah West cell site. The FAA has approved the site, while the KAZC application is pending.

Kentucky RSA No. 1 Partnership has filed notices verifying that each person who owns property within 500 feet of the Paducah West cell site has been notified of the pending construction. The notice solicited any comments and informed the property owners of their right to intervene. In addition, notices were published in a newspaper of general circulation in McCracken County and were posted in a visible location on the proposed site and on the nearest public road. The posted notices remained posted for at least two weeks after Kentucky RSA No. 1 Partnership's application was filed. To date, no intervention requests have been received.

Pursuant to KRS 278.280, the Commission is required to determine proper practices to be observed when it finds, upon complaint or on its own motion, that the facilities of any utility subject to its jurisdiction are unreasonable, unsafe, improper, or insufficient. To assist the Commission in its efforts to comply with this mandate, Kentucky RSA No. 1 Partnership should notify the Commission if it does not use this antenna tower to provide cellular radio telecommunications services in the manner set out in its application and this Order. Upon receipt of such notice, the Commission may, on its own motion, institute proceedings to consider the proper practices, including removal of the unused antenna tower, which should be observed by Kentucky RSA No. 1 Partnership.

The Commission, having considered the evidence of record and being otherwise sufficiently advised, finds that Kentucky RSA No. 1 Partnership should be granted a Certificate of Public Convenience and Necessity to construct and operate the Paducah West cell site in RSA No. 1 under its previously approved tariff.

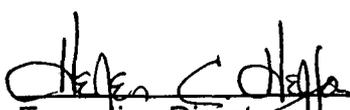
IT IS THEREFORE ORDERED that:

1. Kentucky RSA No. 1 Partnership is granted a Certificate of Public Convenience and Necessity to construct and operate the Paducah West cell site.
2. Kentucky RSA No. 1 Partnership shall file a copy of the final decision regarding the pending KAZC application for this cell site construction within 10 days of receiving the decision.
3. Kentucky RSA No. 1 Partnership shall immediately notify the Commission in writing, if, after the antenna tower is built and utility service is commenced, the tower is not used for a period of 3 months in the manner authorized by this Order.

Done at Frankfort, Kentucky, this 16th day of July, 1999.

By the Commission

ATTEST:


Executive Director



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

May 20, 1999

Ms. Charon Harris
Director, Regulatory Matters
Kentucky RSA #1 Partnership
1 GTE Place
MC GA3B1REG
Alpharetta, GA. 30004 8511

Honorable W. Brent Rice
Counsel for KY RSA #1 Partnership
McBrayer, McGinnis, Leslie &
Kirkland
163 West Short Street
Suite 300
Lexington, KY. 40507 1361

RE: Case No. 99-181
KENTUCKY RSA #1 PARTNERSHIP

The Commission staff has reviewed your application in the above case and finds that it meets the minimum filing requirements. Enclosed please find a stamped filed copy of the first page of your filing. This case has been docketed and will be processed as expeditiously as possible.

If you need further assistance, please contact my staff at 502/564-3940.

Sincerely,

Stephanie Bell

Stephanie Bell
Secretary of the Commission

SB/hv
Enclosure

McBRAYER, MCGINNIS, LESLIE & KIRKLAND PLLC

163 WEST SHORT STREET

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502-223-1200
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DIRECTOR OF GOVERNMENTAL RELATIONS
MIKE HELTON
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* ALSO ADMITTED IN OHIO
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++ ALSO ADMITTED IN WEST VIRGINIA

May 6, 1999

FILED

MAY 6 1999

**PUBLIC SERVICE
COMMISSION**

RECEIVED

MAY 06 1999

**PUBLIC SERVICE
COMMISSION**

HAND DELIVERED

Ms. Helen C. Helton, Executive Director
Public Service Commission
730 Schenkel Lane
Frankfort, KY 40602

**RE: Application of Kentucky RSA No. 1 Partnership for Issuance of a Certificate of Public Convenience and Necessity to Construct an Additional Cell Facility in the Kentucky Rural Service Area No. 1 Which Includes Fulton, Hickman, Carlisle, Ballard, McCracken, Graves, Marshall and Calloway Counties in Kentucky
Case No. 99-181 (The Paducah West Cell Facility)**

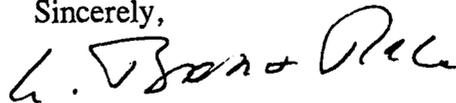
Dear Ms. Helton:

Please be advised that the undersigned represents Kentucky RSA No. 1 Partnership in regard to the above-referenced application which I am filing on its behalf today with the Commission.

Pursuant to KRS 278.020(1) you will find enclosed for filing the original and five copies of the application. Additionally, three (3) Site Plans and Surveys are submitted with the application. Any comments or questions in regard to the application should be forwarded to the undersigned.

Thank you for your assistance in this matter.

Sincerely,



W. Brent Rice
Counsel for Kentucky RSA
No. 1 Partnership

WBR/dkw
Enclosures

McBRAYER, MCGINNIS, LESLIE & KIRKLAND PLLC

163 WEST SHORT STREET

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DIRECTOR OF GOVERNMENTAL RELATIONS
MIKE HELTON
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305 ANN STREET
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502-875-1176
FACSIMILE 502-226-6234

May 12, 1999

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MAY 13 1999

PUBLIC SERVICE
COMMISSION

Ms. Helen C. Helton, Executive Director
Public Service Commission
730 Schenkel Lane
Frankfort, KY 40602

RE: **Kentucky RSA No. 1 Partnership - PSC Case No. 99-181**
(The Paducah West Facility)

Dear Ms. Helton:

Please find enclosed the originals and six copies each of return receipts for correspondence forwarded via certified mail, return receipt requested, to the McCracken County Judge Executive and all property owners within 500' of the proposed facility referenced above. The following property owners have been notified:

Duke Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

Donald and Bettie Edwards
P.O. Box 9174
Paducah, KY 42001

Meredith W. Alonzo
6125 Cairo Road
Paducah, KY 42001

Duje Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

Please file the enclosed with the Commission at your earliest convenience. Thank you for your attention to this matter.

Sincerely,



W. Brent Rice
Counsel for Kentucky RSA
No. 1 Partnership

WBR/dkw

Enclosures

US Postal Service
Receipt for Certified Mail
 No Insurance Coverage Provided.
 Do not use for International Mail (See reverse)

Sent to: **Hon. Danny B. Orazine**
 Street & Number
 Post Office, State, & ZIP Code

Postage \$
 Certified Fee \$
 Special Delivery Fee \$
 Restricted Delivery Fee \$
 Return Receipt Showing to Whom & Date Delivered
 Return Receipt Showing to Whom, Date, & Addressee's Address
 TOTAL Postage & Fees \$
 Postmark or Date 5/6/99 4335-127

PS Form 3808 April 1995

SENDER:
 Complete items 1 and/or 2 for additional services.
 Complete items 3, 4a, and 4b.
 Print your name and address on the reverse of this form so that we can return this card to you.
 Attach this form to the front of the mailpiece, or on the back if space does not permit.
 Write "Return Receipt Requested" on the mailpiece below the article number.
 The Return Receipt will show to whom the article was delivered and the date delivered.

I also wish to receive the following services (for an extra fee):
 1. Addressee's Address
 2. Restricted Delivery
 Consult postmaster for fee.

3. Article Addressed to:
Duke Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

4a. Article Number
Z 463 757 982 (4335-127)

4b. Service Type
 Registered Certified
 Express Mail Insured
 Return Receipt for Merchandise COD

7. Date of Delivery
5-8-99

5. Received By: (Print Name)
Tracy Sommer

6. Signature: (Addressee or Agent)
X Tracy Sommer

8. Addressee's Address (Only if requested and fee is paid)

PS Form 3811, December 1994 102595-98-B-0229 Domestic Return Receipt

SENDER:
 Complete items 1 and/or 2 for additional services.
 Complete items 3, 4a, and 4b.
 Print your name and address on the reverse of this form so that we can return this card to you.
 Attach this form to the front of the mailpiece, or on the back if space does not permit.
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I also wish to receive the following services (for an extra fee):
 1. Addressee's Address
 2. Restricted Delivery
 Consult postmaster for fee.

3. Article Addressed to:
Hon. Danny B. Orazine
McCracken County Judge Exec.
Courthouse
301 S. 6th Street
Paducah, KY 42001

4a. Article Number
Z 463 757 981 (4335-127)

4b. Service Type
 Registered Certified
 Express Mail Insured
 Return Receipt for Merchandise COD

7. Date of Delivery
5-10-99

5. Received By: (Print Name)
Susan Russell

6. Signature: (Addressee or Agent)
X Susan Russell

8. Addressee's Address (Only if requested and fee is paid)

PS Form 3811, December 1994 102595-98-B-0229 Domestic Return Receipt

SENDER:
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I also wish to receive the following services (for an extra fee):
 1. Addressee's Address
 2. Restricted Delivery
 Consult postmaster for fee.

3. Article Addressed to:
Duke Vannerson, Jr.
 Street & Number
 Post Office, State, & ZIP Code

Postage \$
 Certified Fee \$
 Special Delivery Fee \$
 Restricted Delivery Fee \$
 Return Receipt Showing to Whom & Date Delivered
 Return Receipt Showing to Whom, Date, & Addressee's Address
 TOTAL Postage & Fees \$
 Postmark or Date 5/6/99 4335-127

PS Form 3808 April 1995

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 Do not use for International Mail (See reverse)

Sent to: **Heredith W. Alonzo**
 Street & Number
 Post Office, State, & ZIP Code

Postage \$
 Certified Fee \$
 Special Delivery Fee \$
 Restricted Delivery Fee \$
 Return Receipt Showing to Whom & Date Delivered
 Return Receipt Showing to Whom, Date, & Addressee's Address
 TOTAL Postage & Fees \$
 Postmark or Date 5/6/99 4335-127

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 1. Addressee's Address
 2. Restricted Delivery
 Consult postmaster for fee.

3. Article Addressed to:
Duke Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

4a. Article Number
Z 463 757 985 (4335-127)

4b. Service Type
 Registered Certified
 Express Mail Insured
 Return Receipt for Merchandise COD

7. Date of Delivery
5-8-99

5. Received By: (Print Name)
Tracy Sommer

6. Signature: (Addressee or Agent)
X Tracy Sommer

8. Addressee's Address (Only if requested and fee is paid)

PS Form 3811, December 1994 102595-98-B-0229 Domestic Return Receipt

SENDER:
 Complete items 1 and/or 2 for additional services.
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I also wish to receive the following services (for an extra fee):
 1. Addressee's Address
 2. Restricted Delivery
 Consult postmaster for fee.

3. Article Addressed to:
Meredith W. Alonzo
6125 Cairo Road
Paducah, KY 42001

4a. Article Number
Z 463 757 983 (4335-127)

4b. Service Type
 Registered Certified
 Express Mail Insured
 Return Receipt for Merchandise COD

7. Date of Delivery
5-8-99

5. Received By: (Print Name)
Ronald Yoder

6. Signature: (Addressee or Agent)
X Ronald Yoder

8. Addressee's Address (Only if requested and fee is paid)

PS Form 3811, December 1994 102595-98-B-0229 Domestic Return Receipt

US Postal Service
Receipt for Certified Mail
 No Insurance Coverage Provided.
 Do not use for International Mail (See reverse)

Sent to: **Donald and Bettie Edwards**
 Street & Number
 Post Office, State, & ZIP Code

Postage \$
 Certified Fee \$
 Special Delivery Fee \$
 Restricted Delivery Fee \$
 Return Receipt Showing to Whom & Date Delivered
 Return Receipt Showing to Whom, Date, & Addressee's Address
 TOTAL Postage & Fees \$
 Postmark or Date 5-6-99 4335-127

PS Form 3808 April 1995

US Postal Service
Receipt for Certified Mail
 No Insurance Coverage Provided.
 Do not use for International Mail (See reverse)

Sent to: **Duke Vannerson, Jr.**
 Street & Number
 Post Office, State, & ZIP Code

Postage \$
 Certified Fee \$
 Special Delivery Fee \$
 Restricted Delivery Fee \$
 Return Receipt Showing to Whom & Date Delivered
 Return Receipt Showing to Whom, Date, & Addressee's Address
 TOTAL Postage & Fees \$
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PS Form 3808 April 1995

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 1. Addressee's Address
 2. Restricted Delivery
 Consult postmaster for fee.

3. Article Addressed to:
Donald and Bettie Edwards
P.O. Box 9174
Paducah, KY 42001

4a. Article Number
Z 463 757 984

4b. Service Type
 Registered Certified
 Express Mail Insured
 Return Receipt for Merchandise COD

7. Date of Delivery
5-10-99

5. Received By: (Print Name)
Bettie Edwards

6. Signature: (Addressee or Agent)
Bettie Edwards

8. Addressee's Address (Only if requested and fee is paid)

PS Form 3811, December 1994 102595-98-B-0229 Domestic Return Receipt

is your RETURN ADDRESS completed on the reverse side?

is your RETURN ADDRESS completed on the reverse side?

is your RETURN ADDRESS completed on the reverse side?

is your RETURN ADDRESS completed on the reverse side?

Thank you for using Return Receipt Service.

Is your RETURN ADDRESS completed on the reverse side?

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I also wish to receive the following services (for an extra fee):

- 1. Addressee's Address
- 2. Restricted Delivery

Consult postmaster for fee.

3. Article Addressed to:
Hon. Danny B. Orazine
McCracken County Judge Exec.
Courthouse
301 S. 6th Street
Paducah, KY 42001

4a. Article Number
Z 463 757 981 (4335-127)

4b. Service Type
 Registered Certified
 Express Mail Insured
 Return Receipt for Merchandise COD

7. Date of Delivery
5-10-99

5. Received By: (Print Name)
Susan Russell

8. Addressee's Address (Only if requested and fee is paid)

6. Signature: (Addressee or Agent)
Susan Russell

Thank you for using Return Receipt Service.

PS Form 3811, December 1994

102595-98-B-0229

Domestic Return Receipt

Z 463 757 981

US Postal Service
Receipt for Certified Mail
 No Insurance Coverage Provided.
 Do not use for International Mail (See reverse)

Sent to	
Hon. Danny B. Orazine	
Street & Number	
Post Office, State, & ZIP Code	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	
Return Receipt Showing to Whom, Date, & Addressee's Address	
TOTAL Postage & Fees	\$
Postmark or Date	
5/6/99 4335-127	

PS Form 3800, April 1995

Z 463 757 983

US Postal Service
Receipt for Certified Mail
No Insurance Coverage Provided.
Do not use for International Mail (See reverse)

Sent to Meredith W. Alonzo	
Street & Number	
Post Office, State, & ZIP Code	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	
Return Receipt Showing to Whom, Date, & Addressee's Address	
TOTAL Postage & Fees	\$
Postmark or Date	
4335-127	5/6/99

PS Form 3800, April 1995

Is your RETURN ADDRESS completed on the reverse side?

SENDER:

- Complete items 1 and/or 2 for additional services.
- Complete items 3, 4a, and 4b.
- Print your name and address on the reverse of this form so that we can return this card to you.
- Attach this form to the front of the mailpiece, or on the back if space does not permit.
- Write "Return Receipt Requested" on the mailpiece below the article number.
- The Return Receipt will show to whom the article was delivered and the date delivered.

3. Article Addressed to:

Duke Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

4a. Article Number
Z 463 757 982 (4335-127)

- 4b. Service Type
- Certified
 - Registered
 - Express Mail
 - Return Receipt for Merchandise
 - Insured
 - COD

7. Date of Delivery
5-8-99

8. Addressee's Address (Only if requested and fee is paid)

5. Received By: (Print Name)

[Signature]

6. Signature: (Addressee or Agent)

[Signature]

PS Form 3811, December 1994

Thank you for using Return Receipt Service.

102595-98-B-0229 Domestic Return Receipt

Is your RETURN ADDRESS completed on the reverse side?

PS Form 3811, December 1994

6. Signature: (Addressee or Agent)

[Signature]

5. Received By: (Print Name)

[Signature]

Meredith W. Alonzo
6125 Cairo Road
Paducah, KY 42001

3. Article Addressed to:

- Complete items 1 and/or 2 for additional services.
- Complete items 3, 4a, and 4b.
- Print your name and address on the reverse of this form so that we can return this card to you.
- Attach this form to the front of the mailpiece, or on the back if space does not permit.
- Write "Return Receipt Requested" on the mailpiece below the article number.
- The Return Receipt will show to whom the article was delivered and the date delivered.

4a. Article Number
Z 463 757 983 (4335-127)

- 4b. Service Type
- Certified
 - Registered
 - Express Mail
 - Return Receipt for Merchandise
 - Insured
 - COD

7. Date of Delivery
5-8-99

8. Addressee's Address (Only if requested and fee is paid)

I also wish to receive the following services (for an extra fee):
1. Addressee's Address
2. Restricted Delivery
Consult postmaster for fee.

US Postal Service
Receipt for Certified Mail
No Insurance Coverage Provided.
Do not use for International Mail (See reverse)

Sent to Duke Vannerson, Jr.	
Street & Number	
Post Office, State, & ZIP Code	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	
Return Receipt Showing to Whom, Date, & Addressee's Address	
TOTAL Postage & Fees	\$
Postmark or Date	
4335-127	5/6/99

PS Form 3800, April 1995

Z 463 757 982

Thank you for using Return Receipt Service.

Is your RETURN ADDRESS completed on the reverse side?

SENDER:
 Complete items 1 and/or 2 for additional services.
 Complete items 3, 4a, and 4b.
 Print your name and address on the reverse of this form so that we can return this card to you.
 Attach this form to the front of the mailpiece, or on the back if space does not permit.
 Write "Return Receipt Requested" on the mailpiece below the article number.
 The Return Receipt will show to whom the article was delivered and the date delivered.

3. Article Addressed to:
Donald and Bettie Edwards
P.O. Box 9174
Paducah, KY 42001

5. Received By: (Print Name)

6. Signature: (Addressee or Agent)

PS Form 3811, December 1994

102595-98-B-0229

4a. Article Number **4335-127**

4b. Service Type
 Registered
 Express Mail
 Return Receipt for Merchandise
 Certified
 Insured
 COD

7. Date of Delivery
5-10-99

8. Addressee's Address (Only if requested and fee is paid)

Domestic Return Receipt

Thank you for using Return Receipt Service.

Z 463 757 985

US Postal Service
 Receipt for Certified Mail
 No Insurance Coverage Provided.
 Do not use for International Mail (See reverse)

Sent to
Duje Vannerson, Jr.
 Street & Number

Post Office, State, & ZIP Code

Postage \$

Certified Fee

Special Delivery Fee

Restricted Delivery Fee

Return Receipt Showing to Whom & Date Delivered

Return Receipt Showing to Whom, Date, & Addressee's Address

TOTAL Postage & Fees \$

Postmark or Date
5/6/99 4335-127

PS Form 3811, April 1994

Z 463 757 984

US Postal Service
 Receipt for Certified Mail
 No Insurance Coverage Provided.
 Do not use for International Mail (See reverse)

Sent to
Donald and Bettie Edwards
 Street & Number

Post Office, State, & ZIP Code

Postage \$

Certified Fee

Special Delivery Fee

Restricted Delivery Fee

Return Receipt Showing to Whom & Date Delivered

Return Receipt Showing to Whom, Date, & Addressee's Address

TOTAL Postage & Fees \$

Postmark or Date
4335-127 5-6-99

PS Form 3811, April 1994

Is your RETURN ADDRESS completed on the reverse side?

SENDER:
 Complete items 1 and/or 2 for additional services.
 Complete items 3, 4a, and 4b.
 Print your name and address on the reverse of this form so that we can return this card to you.
 Attach this form to the front of the mailpiece, or on the back if space does not permit.
 Write "Return Receipt Requested" on the mailpiece below the article number.
 The Return Receipt will show to whom the article was delivered and the date delivered.

3. Article Addressed to:
Duje Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

5. Received By: (Print Name)
TRACY SOMMER

6. Signature: (Addressee or Agent)

PS Form 3811, December 1994

102595-98-B-0229

4a. Article Number **4335-127**

4b. Service Type
 Registered
 Express Mail
 Return Receipt for Merchandise
 Certified
 Insured
 COD

7. Date of Delivery
5-8-99

8. Addressee's Address (Only if requested and fee is paid)

Domestic Return Receipt

Thank you for using Return Receipt Service.



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

May 13, 1999

Ms. Charon Harris
Director, Regulatory Matters
Kentucky RSA #1 Partnership
1 GTE Place
MC GA3B1REG
Alpharetta, GA. 30004 8511

Honorable W. Brent Rice
Counsel for KY RSA #1 Partnership
McBrayer, McGinnis, Leslie &
Kirkland
163 West Short Street
Suite 300
Lexington, KY. 40507 1361

RE: Case No. 99-181
KENTUCKY RSA #1 PARTNERSHIP
(Construct) CELL SITE-MEREDITH RD-PADUCAH WEST-MCCRACKEN

This letter is to acknowledge receipt of initial application in the above case. The application was date-stamped received May 6, 1999 and has been assigned Case No. 99-181. In all future correspondence or filings in connection with this case, please reference the above case number.

If you need further assistance, please contact my staff at 502/564-3940.

Sincerely,

Stephanie Bell
Stephanie Bell
Secretary of the Commission

SB/sh

McBRAYER, MCGINNIS, LESLIE & KIRKLAND PLLC

163 WEST SHORT STREET

SUITE 300

LEXINGTON, KENTUCKY 40507-1361

606-231-8780

FACSIMILE 606-231-6518

REAL ESTATE FAX 606-255-9777

WWW.MMLK.COM

W. TERRY McBRAYER
JOHN R. MCGINNIS
PHILLIP BRUCE LESLIE *
WILLIAM D. KIRKLAND
J. D. ATKINSON, JR.
JAMES G. AMATO
GEORGE D. GREGORY **
BRENT L. CALDWELL
W. BRENT RICE
JAMES H. FRAZIER, III +
STEPHEN C. CAWOOD
CHRISTOPHER M. HILL
LISA ENGLISH HINKLE
WILLIAM R. PALMER, JR.
BRUCE W. MACDONALD *
LUKE BENTLEY III
STEPHEN G. AMATO
MARY ESTES HAGGIN
R. STEPHEN MCGINNIS ++
JON A. WOODALL
MARIA S. BUCKLES
MARGARET M. YOUNG
JULIE A. COBBLE
MELINDA G. WILSON
MARY ELIZABETH CUTTER
LINDA J. WEST
JARON P. BLANDFORD

* ALSO ADMITTED IN OHIO
** ALSO ADMITTED IN COLORADO
+ ALSO ADMITTED IN TEXAS & FLORIDA
++ ALSO ADMITTED IN WEST VIRGINIA

WATSON CLAY (1908-1985)
OSCAR SAMMONS (1908-1985)

MAIN & HARRISON STREETS
P. O. BOX 347
GREENUP, KENTUCKY 41144-0347
606-473-7303
FACSIMILE 606-473-9003

300 STATE NATIONAL
BANK BUILDING
P. O. BOX 1100
FRANKFORT, KENTUCKY 40602-1100
502-223-1200
FACSIMILE 502-227-7385

DIRECTOR OF GOVERNMENTAL RELATIONS
MIKE HELTON
STATE NATIONAL BANK BUILDING
305 ANN STREET
SUITE 308
FRANKFORT, KENTUCKY 40601-2847
502-875-1178
FACSIMILE 502-226-6234

May 6, 1999

FILED

MAY 6 1999

**PUBLIC SERVICE
COMMISSION**

RECEIVED

MAY 06 1999

**PUBLIC SERVICE
COMMISSION**

HAND DELIVERED

Ms. Helen C. Helton, Executive Director
Public Service Commission
730 Schenkel Lane
Frankfort, KY 40602

**RE: Application of Kentucky RSA No. 1 Partnership for Issuance of a Certificate of Public Convenience and Necessity to Construct an Additional Cell Facility in the Kentucky Rural Service Area No. 1 Which Includes Fulton, Hickman, Carlisle, Ballard, McCracken, Graves, Marshall and Calloway Counties in Kentucky
Case No. 99-181 (The Paducah West Cell Facility)**

Dear Ms. Helton:

Please be advised that the undersigned represents Kentucky RSA No. 1 Partnership in regard to the above-referenced application which I am filing on its behalf today with the Commission.

Pursuant to KRS 278.020(1) you will find enclosed for filing the original and five copies of the application. Additionally, three (3) Site Plans and Surveys are submitted with the application. Any comments or questions in regard to the application should be forwarded to the undersigned.

Thank you for your assistance in this matter.

Sincerely,



W. Brent Rice
Counsel for Kentucky RSA
No. 1 Partnership

WBR/dkw
Enclosures

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED

MAY 06 1999

PUBLIC SERVICE
COMMISSION

In the Matter of:

APPLICATION OF KENTUCKY RSA NO. 1)
PARTNERSHIP FOR ISSUANCE OF A)
CERTIFICATE OF PUBLIC CONVENIENCE AND)
NECESSITY TO CONSTRUCT AN ADDITIONAL)
CELL FACILITY IN THE KENTUCKY RURAL)
SERVICE AREA NO. 1 WHICH INCLUDES)
FULTON, HICKMAN, CARLISLE, BALLARD,)
McCRACKEN, GRAVES, MARSHALL AND)
CALLOWAY COUNTIES IN KENTUCKY)
(THE PADUCAH WEST CELL FACILITY))

Case No. 99-181

APPLICATION

Kentucky RSA No. 1 Partnership, a Delaware general partnership ("Applicant") applies for a Certificate of Public Convenience and Necessity to construct and operate an additional cell facility to serve the customers of its cellular radio telecommunications system in the Kentucky Rural Service Area No. 1 (the "Kentucky RSA No. 1). In support of this Application, Applicant, respectfully states that:

1. Its complete name, address and telephone number are: Kentucky RSA No. 1 Partnership, c/o GTE Wireless of the South Incorporated, General Partner, 245 Perimeter Center Pkwy., Atlanta, Georgia 30346 (770)391-8000.
2. The Applicant is a limited partnership whose general partner is GTE Wireless of the South Incorporated, a Virginia corporation. A copy of the agreement establishing the partnership is filed in Public Service Commission Case No. 92-040. Contel Cellular of Kentucky, Inc. was subsequently substituted as the general partners in place of Contel Cellular of Louisville, Inc.

Certified copies of the Certificate of Authority and related amendments thereto, including Articles of Incorporation and Articles of Merger under the name Contel Cellular of Kentucky, Inc. have been provided to the Commission in Case No. 93-155. In Case No. 97-433 the Commission approved the reorganization of various operating companies and subsidiaries of GTE Corporation, including GTE Wireless of the South Incorporated (formerly known as Contel Cellular of Kentucky, Inc.).

3. The applicant proposes to construct an additional cellular telephone communicating facility in McCracken County, Kentucky situated in the Kentucky Rural Service Area No. 1 (the "Cell Facility"). The Cell Facility will be comprised of a 211' guyed tower with attached antennas extending upwards for a total height of 228' and an equipment shelter. The equipment shelter will contain the transmitters and receivers required to connect the cell facility with cellular telephone users, which will link the Cell Facility with Applicant's other cells. The Cell Facility will be fenced with a secured access gate. Three (3) Site Plans and Surveys are being submitted with this Application. A detailed description of the manner in which the Cell Facility will be constructed is included on the Site Plan (scale: 1" = 40'). A reduced copy of the Survey is attached as Exhibit A. The Site Plan is signed and sealed by David B. Granger, a professional engineer registered in Kentucky and it depicts the proposed location of the tower and all easements and existing structures on the property on which the tower will be located. A vertical tower profile and its foundation, each signed and sealed by a professional engineer registered in Kentucky are attached as Exhibit B. The tower design plans include a description of the standard according to which the tower was designed.

4. A geotechnical investigation report performed by Geotech Engineering and Testing, Inc., dated December 4, 1998 is attached as Exhibit C. The geotechnical investigation report is signed and sealed by Christopher N. Farmer, P.E., a professional engineer registered in Kentucky.

The geotechnical investigation report includes boring logs, foundation design recommendations, and a finding as the proximity of the proposed site to flood hazard areas.

5. As noted on the Survey attached as Exhibit A, the property lies in Zone "C" area of minimal flooding according to flood insurance rate map, effective date June 4, 1980.

6. The possibility of a strong ground shaking has been considered in the design of this guyed tower. Formulas are given in codes for earthquake loading. The formulas are for lateral loads, and they take into account the seismic zone, ground motion and structure. The two most important components of the structure are its weight and shape. Applying all of the factors to the formula, the resultant earthquake load is less than the design wind load. Seismic loading has been considered in the design of this tower, although it is regarded as secondary to the wind loading.

Even if the tower would fall as result of an earthquake, it should not damage any occupied buildings. In the event of failure of the tower mast, all of the debris will most likely lie within a circle whose center is the tower base and whose radius is no more than 60% of the tower height. As noted on the Survey there are no building structures which lie within a 500' radius of the tower location.

7. Similarly, the possibility of a strong wind has been considered in the design of this tower. It has been designed and engineered by professional engineers using computer assistance and the same accepted codes and standards as are typically used for high-rise building construction. This tower has been designed in accordance with the Electronic Industries Association ("EIA") Standard RS-222E, which has been accepted and approved by ANSI and is a nationally recognized tower design standard. The ANSI/EIA standard utilizes a "stepped" wind loading in tower design. This means that a standardized wind speed (the "basic wind speed") is applied to the tower structure at

the 33-foot level and then is "increased" with increments of tower height. In this case, the design wind speed is 75 mph. Using the appropriate wind speed for each antenna level, the thrust of the antenna and its corresponding waveguide load are applied to the tower structure for maximum member loads.

8. Personnel directly responsible for the design and construction of the proposed tower are qualified and experienced. The soil testing and part of the foundation design was performed by Geotech Engineering and Testing, Inc. under the supervision of Christopher N. Farmer, P.E., a registered professional engineer in the Commonwealth of Kentucky. His specialty is geotechnical engineering which includes sub-surface exploration and foundation design. He has served as project and principal engineer on various projects similar to the applicant's. These projects include construction, tower crane foundations, and nexrad doppler radar towers, other mobile telephone towers and elevated water towers. Foundation types for these towers have included drilled piers, auger-cast piles, driven piles and spread footings. Design of the tower and foundation was performed by Pirod, Inc. of Plymouth, Indiana. The applicant uses qualified installation crews and site inspectors for construction of its towers.

9. The public convenience and necessity require the construction of this additional Cell Facility. The additional Cell Facility is essential to improve service to Applicant's current customers in that transmission and reception "weak spots" within the area to be covered by the Cell Facility will be substantially reduced. The Cell Facility will also increase the system's capacity to meet the increasing demands for cellular service in the Kentucky Rural Service Area No. 1. A map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the

necessary search area within which a site should be located as determined by the applicant's radio frequency engineers is attached as exhibit D.

The process that was used in selecting the site for the proposed Cell Facility by the applicant's radio frequency engineers was consistent with the process used for selecting generally all other existing cell facilities within the Kentucky Rural Service Area No. 1. The engineers used computer programs to locate cell sites that will enable the cell facilities to serve the Federal Communications Commission certificated territory without extending beyond its approved boundary and to meet other mandates of the Commission. The engineers select the optimum site in terms of elevation and location to provide the best quality service to customers in the service area.

It is imperative that the proposed Cell Facility be constructed to allow Applicant to meet its licensing requirements as mandated by the Federal Communications Commission and to further meet the increasing demands for cellular service in the Kentucky Rural Service Area No. 1.

10. The Cell Facility will serve an area totally within Applicant's current service area in the Kentucky Rural Service Area No. 1.

11. Since the proposed Cell Facility will serve only the Kentucky Rural Service Area No. 1, no further approvals by the Federal Communications Commission ("FCC") are required. See 47 C.F.R. §24.11(b), "[b]lanket licenses are granted for each market and frequency block. Applications for individual sites are not required and will not be accepted."

12. The Federal Aviation Administration ("FAA") determined on January 21, 1999 that the proposed construction would not exceed FAA obstruction standards and would not be a hazard to air navigation. The determination from the FAA is attached as Exhibit E. An application to the Kentucky Airport Zoning Commission ("KAZC") was filed on December 2, 1998, a copy of which

is attached as Exhibit F. Upon receiving a determination from KAZC, the applicant will forward a copy of such determination as a supplement to this application.

13. The proposed location of the tower is not within a jurisdiction that has adopted planning and zoning regulations in accordance with KRS Chapter 100. Applicant has notified the McCracken County Judge Executive, by certified mail, return receipt requested, of the proposed construction. Applicant included in the notice the Commission Docket Number under which the application will be processed and informed said person of his right to request intervention. A copy of the notice is attached as Exhibit G.

14. The Cell Facility will be located off Meredith Road, Paducah, McCracken County, Kentucky. Appropriate notices 2' X 4' with the word "TOWER" in letters at least four inches high, have been posted in a visible location on the proposed site and on the nearest public road and shall remain posted for at least two (2) weeks after the Application is filed. The location of the proposed facility has been published in a newspaper of general circulation in McCracken County, Kentucky. The Cell Facility's coordinates are: Latitude: 37° 05' 47.0"; Longitude: 88° 42' 35.18".

15. Clear directions to the proposed site are set forth on the Site Plan. The telephone number of the person who prepared the directions is David B. Granger (317)299-2996. The Survey states that there are no building structures which lie within a 500' radius of the tower and further depicts all property owners within a 500' radius of the tower location.

16. Applicant has notified every person who owns property within 500' of the proposed tower by certified mail, return receipt requested, of the proposed construction. Applicant included in said notice the Commission docket number under which the Application will be processed and informed each person of his or her right to request intervention. A list of the property owners so

notified follows and copies of the certified letters sent to the referenced property owners are attached as Exhibit H. Copies of the return receipts will be filed with the Commission when received.

17. The site for the proposed facility is located in McCracken County which does not have zoning within the unincorporated areas of the county nor does it have any local rules, regulations or restrictions which would limit or restrict placement of cellular towers within the county according to Van Newberry, McCracken County Planner. The site is situated in a search area that is made up of rural residential with larger tracts of farm areas. As depicted on the survey the western boundary of the site is a railroad and the southern boundary is Meredith Road. The few residential properties are situated to the east and northwest of the proposed site.

18. Applicant has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service can be provided. Applicant attempted to co-locate on existing towers or structures, however, there are no such existing towers or structures in the vicinity of the proposed site. The applicant has determined that the proposed site will have minimal impact to the surrounding areas.

19. The site for the Cell Facility is to be leased from L.D. (Duke) Vannerson, Jr.. A copy of the Option and Site Lease Agreement is attached as Exhibit I. The lease provides a method that the applicant will follow in dismantling and removing the tower including a timetable for such removal in the case of abandonment.

20. The names of all public utilities, corporations, or persons with whom the proposed new construction is likely to compete is BellSouth Mobility, Powertel/Kentucky, Inc., Sprint PCS and Nextel Communication.

21. The estimated cost of construction of the Cell Facility (as described in paragraph 3

supra) is \$350,000, and the cost of operating the Cell Facility for one year is estimated at \$15,000.

22. Applicant plans to finance the construction of the Cell Facility through the use of working capital. If sufficient funds are not available from this source, the company will obtain funds through short-term loans payable within two years.

23. Any customer complaints may be reported by dialing 611 on the customer's cellular phone.

WHEREFORE, Applicant requests that the Commission, pursuant to KRS 278.020, grant a Certificate of Public Convenience and Necessity to Applicant for construction and operation of the proposed Cell Facility and providing for such other relief as is necessary and appropriate.

Respectfully submitted,



W. Brent Rice
MCBRAYER, MCGINNIS, LESLIE &
KIRKLAND
163 West Short Street, Suite 300
Lexington, KY 40507-1361
Phone: 606/231-8780

COUNSEL FOR KENTUCKY RSA
NO. 1 PARTNERSHIP

LIST OF EXHIBITS

Exhibit A	Reduced Site Plan and Survey
Exhibit B	Tower and Foundation Profile
Exhibit C	Report of Geotechnical Exploration
Exhibit D	Search Area Map
Exhibit E	FAA Determination
Exhibit F	KAZC Application
Exhibit G	Correspondence to McCracken County Judge Executive
Exhibit H	List of Property Owners and Notification Letters
Exhibit I	Real Estate Lease Agreement



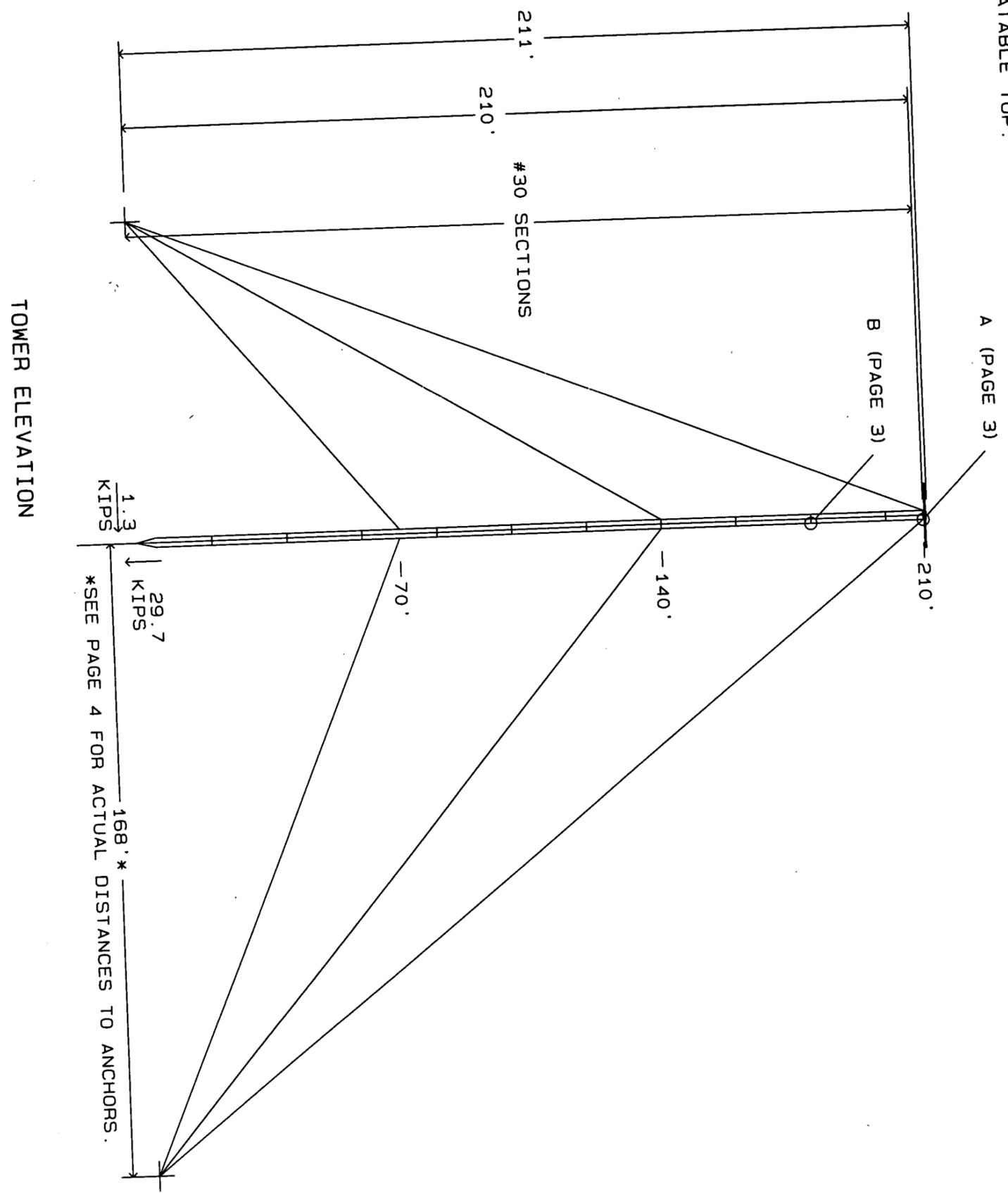
90000 SERIES
10% P.C.W.

A

From: 80942.DFT - 03/05/1999 09:05 Printed from: 20453518.DWG - 03/08/1999 15:40 @ 03/08/1999 15:53		ARCHIVE	ENG. FILE NO. A-115342-0-80942	PAGE 1 OF 10
REV	DESCRIPTION OF REVISIONS	DATE	DRAWN BY	DRAWING NO. 204535-B
A	REVISED TOWER HEIGHT	03/05/1999	TRP	
B	ADDED FOUNDATIONS PER SOIL REPORT	03/08/1999	APPROVED/FOUND. N/A	1545 Pldco Dr. Plymouth, IN 46563-0128 219-936-4221
			APPROVED/ENG. WRH 03/08/1999	
GTE MOBLINET CLEVELAND OPERATIONS PADUCAN WEST, KY # 30 X 211' GUYED TOWER				

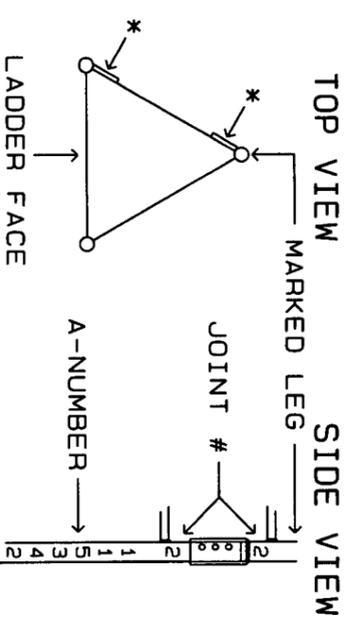


SHOP WELD TOP PLATE P/N
120607 AT TOP OF TOP SECTION.
SEE PAGE 3 FOR DETAILS
OF ROTATABLE TOP.



*SEE PAGE 4 FOR ACTUAL DISTANCES TO ANCHORS.

SECTION DATA						LEG CONNECTION		
SPAN HEIGHT	SEC#	LEN	LEGS	BRACES	PART#	BOLT DIAM	BOLT LEN	BOLTS /SEC
200' - 210'	30	10'	1 - 1/4 "	1/2 "	104486			
20' - 200'	30	20'	1 - 1/4 "	1/2 "	104486	1/2"	3 "	9
0' - 20'	30	20'	1 - 1/4 "		104486	1/2"	3 "	9



THE MARKED LEG OF EACH SECTION IS STAMPED WITH THE TOWER SERIAL # AT THE TOP OF EACH SECTION AND THE JOINT # AT EACH END OF THE SECTION. JOINTS ARE NUMBERED CONSECUTIVELY STARTING WITH 1 AT THE TOP OF THE BASE SECTION. ASSEMBLE TOWER WITH MARKED LEGS TOGETHER IN PROPER SEQUENCE.

* INDICATES RELATIVE POSITION OF LINE HANGING BRACKETS P/N 115748 AT NOMINAL 3' VERTICAL SPACING.



M/R 08/1999

GTE MOBILENET CLEVELAND OPERATIONS
PADUCAH WEST, KY
30 X 211' GUYED TOWER

APPROVED/ENG. WRH 03/08/1999	APPROVED/FOUND N/A
DRAWN BY TRP	

1545 Pidco Dr.
Plymouth, IN 46563-0128
219-936-4221



ENG. FILE NO. A-115342-0-80942 ARCHIVE
DRAWING NO. 204535-B PAGE 2 OF 10

From: 80942.DFT - 03/05/1999 09:05
Printed from: 2045352A.DWG - 03/05/1999 09:01 @ 03/08/1999 15:53

REV	DESCRIPTION OF REVISIONS	DATE
-----	--------------------------	------

A	REVISED TOWER HEIGHT	03/05/1999
---	----------------------	------------

GUY HARDWARE DETAIL

HT.	GUY SIZE	LUG PART#	SHCKL SIZE	THMBLE SIZE	TURN-BCKLE	PREFORM	INITIAL TENSION **					
							@-30°F	@ 0°F	@ 30°F	@ 60°F	@ 90°F	@120°F
210'	3/8" EHS.	105062	5/8"	7/16"	5/8"	BG-2147	1906#	1774#	1664#	1540#	1422#	1313#
140'	3/8" EHS.	105062	5/8"	7/16"	5/8"	BG-2147	2081#	1898#	1727#	1540#	1359#	1203#
70'	5/16" EHS.	105062	5/8"	7/16"	5/8"	BG-2146	1723#	1521#	1321#	1120#	930#	766#

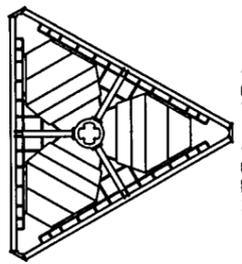
** TENSIONS SHOWN ARE FOR GUY LINE (A). INTERPOLATION IS PERMITTED FOR OTHER TEMPERATURES. TOLERANCE IS +/- 10% OF INITIAL TENSION SHOWN.

GUY LENGTH DATA

HT.	GUY SIZE	# GUY	THEORETICAL LENGTH ***		
			(A) NORTHEAST	(B) SOUTHEAST	(C) SOUTHWEST
210'	3/8" EHS.	3	270.5'	267.4'	267.4'
140'	3/8" EHS.	3	220.0'	217.4'	217.4'
70'	5/16" EHS.	3	182.8'	181.2'	181.2'

*** THEORETICAL LENGTH SHOWN IS NOT THE CUT LENGTH. ADD 5% TO 10% TO VALUE LISTED TO ARRIVE AT CUT LENGTH. QUANTITY OF CABLE SHIPPED IS THEORETICAL LENGTH +10%.

TOP VIEW



SIDE VIEW



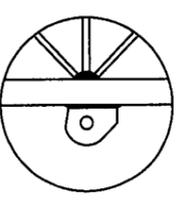
ROTATABLE TOP
(REF ASSEMBLY
DWG # 130555)



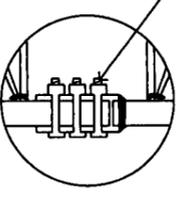
MAR 08 1999

GTE MOBLINET CLEVELAND OPERATIONS
PADUCAH WEST, KY
30 X 211 GUYED TOWER

VIEW A
TYPICAL GUY
CONNECTION LUG



VIEW B
TYPICAL LEG
CONNECTION



A-325 BOLTS
SEE LEG CONNECT
TABLE FOR SIZE

REV	DESCRIPTION OF REVISIONS	DATE	APPROVED/ENG.	APPROVED/FOUND	DATE
A	REVISED TOWER HEIGHT	03/05/1999	TRP	N/A	03/08/1999
			APPROVED/ENG.	APPROVED/FOUND	DATE
			MRH	N/A	03/08/1999
			TRP		

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Printed from: 2045353A.DWG - 03/05/1999 09:01 @ 03/08/1999 15:53

ENG. FILE NO. A-115342-
ARCHIVE 0-80942

DRAWING NO. 204535-B
PAGE 3 OF 10

1545 Pidco Dr.
Plymouth, IN 46563-0128
219-936-4221

PRUD INC.

Printed from: 2045354A.DWG - 03/05/1999 09:01 @ 03/08/1999 15:53 ARCHIVE

From: 80942.DFT - 03/05/1999 09:05

ENG. FILE NO. A-115342-0-80942

DRAWING NO. 204535-B

PAGE 4 OF 10

REV	DESCRIPTION OF REVISIONS	DATE	INITIALS
A	REVISED TOWER HEIGHT	03/05/1999	TRP

APPROVED/ENG.	DATE
MRH	03/08/1999
APPROVED/FOUND.	DATE
MRH	03/08/1999

1545 Pidco Dr.
Plymouth, IN 46563-0128
219-936-4221

PIROD INC.

GTE MOBILENET CLEVELAND OPERATIONS
PADUCAH WEST, KY
30 X 211 GUYED TOWER

NOTE: THE HORIZONTAL DISTANCE IS THE DISTANCE MEASURED FROM THE TOWER BASE PIN TO THE ANCHOR HEAD. THE VERTICAL DISTANCE IS THE DIFFERENCE BETWEEN THE GROUND ELEVATION AT THE TOWER BASE AND THE GROUND ELEVATION AT THE ANCHOR HEAD.

SOUTHEAST ANCHORS (B)

ANC #	HORIZ DIST	VERT DIST	HORIZONTAL FORCE	UPLIFT FORCE	DRAWING PAGE
B-1	168'	2'	14.2 KIPS	11.2 KIPS	8

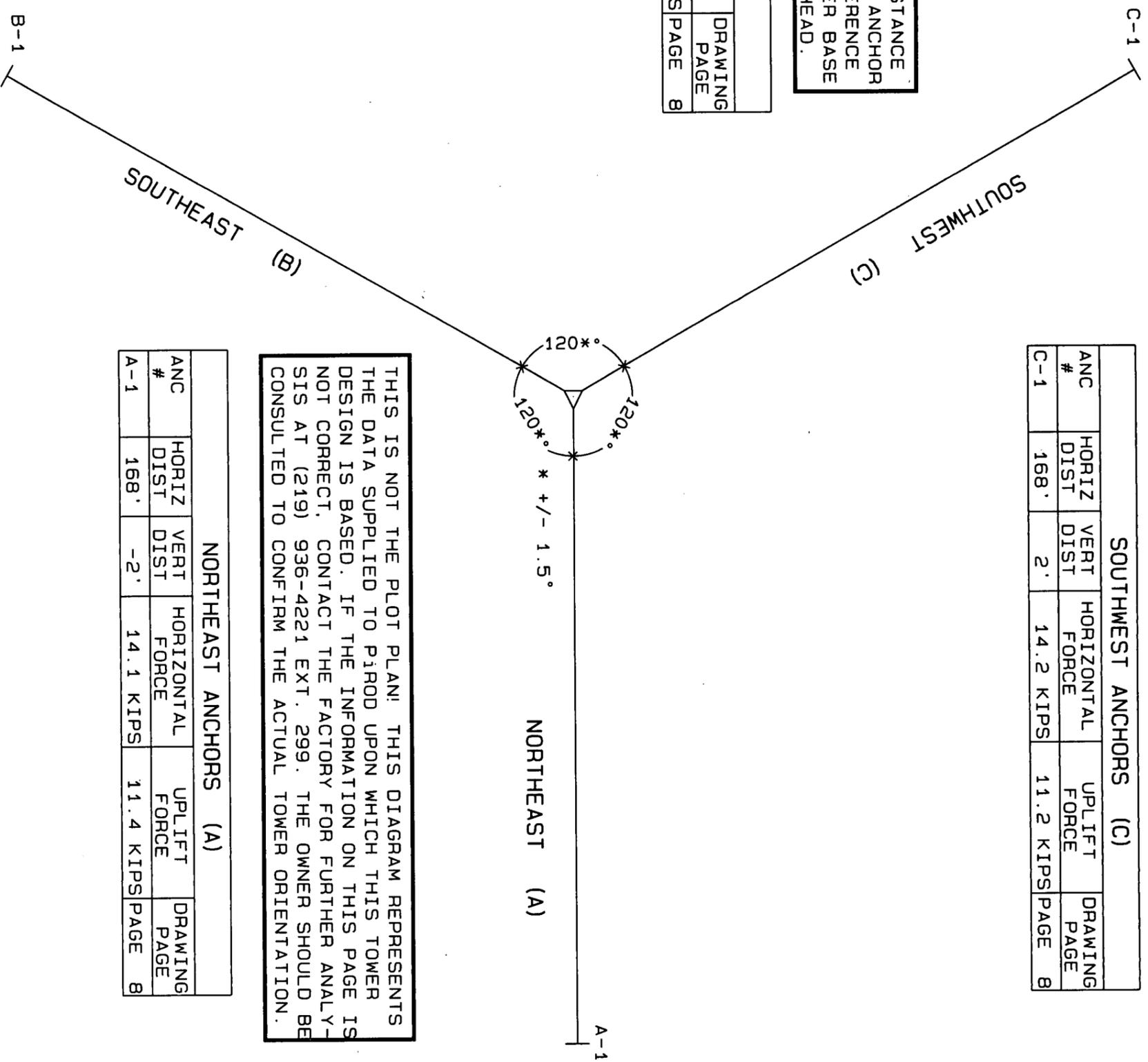
SOUTHWEST ANCHORS (C)

ANC #	HORIZ DIST	VERT DIST	HORIZONTAL FORCE	UPLIFT FORCE	DRAWING PAGE
C-1	168'	2'	14.2 KIPS	11.2 KIPS	8

NORTHEAST ANCHORS (A)

ANC #	HORIZ DIST	VERT DIST	HORIZONTAL FORCE	UPLIFT FORCE	DRAWING PAGE
A-1	168'	-2'	14.1 KIPS	11.4 KIPS	8

THIS IS NOT THE PLOT PLAN! THIS DIAGRAM REPRESENTS THE DATA SUPPLIED TO PIROD UPON WHICH THIS TOWER DESIGN IS BASED. IF THE INFORMATION ON THIS PAGE IS NOT CORRECT, CONTACT THE FACTORY FOR FURTHER ANALYSIS AT (219) 936-4221 EXT. 299. THE OWNER SHOULD BE CONSULTED TO CONFIRM THE ACTUAL TOWER ORIENTATION.



MAR 08 1999

REVISED TOWER HEIGHT		TRP	03/05/1999	DATE	03/05/1999
REV	A	DESCRIPTION OF REVISIONS	INI		
From: 80942.DFT - 03/05/1999 09:05 Printed from: 2045355A.DWG - 03/05/1999 09:01 @ 03/08/1999 15:53					
DRAWING NO.		ENG. FILE NO.		ARCHIVE	
204535-B		A-115342-		Q-80942	
PAGE		DRAWN BY			
5 OF 10		TRP			
1545 Pidco Dr. Plymouth, IN 46563-0128 219-936-4221		APPROVED/FOUND		N/A	
		APPROVED/ENG.		MRH 03/08/1999	
GTE MOBILENET CLEVELAND OPERATIONS PADUAH WEST, KY # 30 X 211' GUYED TOWER					



GENERAL NOTES

1. TOWER DESIGN CONFORMS TO STANDARD EIA/TIA-222-F FOR 75 MPH BASIC WIND SPEED WITH 0.50" RADIAL ICE WITH LOAD DUE TO WIND REDUCED BY 25% WHEN CONSIDERED SIMULTANEOUSLY WITH ICE. TOWER DESIGN CONFORMS TO STANDARD EIA/TIA-222-F FOR 75 MPH BASIC WIND SPEED WITH NO ICE.
2. MATERIAL: (A) SOLID RODS CONFORM TO ASTM A-572 GRADE 50 REQUIREMENTS.
(B) ANGLES CONFORM TO ASTM A-36 REQUIREMENTS.
(C) PIPE CONFORMS TO ASTM A-53 TYPE E, GRADE B REQUIREMENTS. (MIN YIELD STRENGTH=42 KSI)
(D) ALL STEEL PLATES CONFORM TO ASTM A-36 REQUIREMENTS.
3. FINISH: HOT DIPPED GALVANIZED AFTER FABRICATION.
4. ANTENNAS:
210' - FOUR DB810 ANTENNAS ON A LOW PROFILE PLATFORM WITH 1 5/8" LINES.
5. MIN. WELDS 5/16" UNLESS OTHERWISE SPECIFIED. ALL WELDING TO CONFORM TO AWS SPECS.
6. ALL BOLTS AND NUTS MUST BE IN PLACE BEFORE THE ADJOINING SECTION(S) ARE INSTALLED.
7. ALL A-325 BOLTS ARE TO BE TIGHTENED TO A SNUG TIGHT CONDITION AS DEFINED BY AISC SPECIFICATION UNLESS OTHERWISE NOTED. A MORE QUANTITATIVE ALTERNATIVE APPROACH TO ACHIEVING A SNUG TIGHT CONDITION IS TO TIGHTEN USING THE TORQUE VALUES FROM DRAWING 123107-A.
8. EIA GROUNDING FOR TOWER.
9. DUAL LIGHT KIT (151' - 350')

REV	DESCRIPTION OF REVISIONS	DATE	INI	DATE	DRAWN BY
A	REVISED TOWER HEIGHT	03/05/1999	TRP		TRP
B	ADDED FOUNDATIONS PER SOIL REPORT	03/08/1999	WRH	03/08/1999	WRH
				03/08/1999	WRH
				03/08/1999	WRH

APPROVED/ENG. APPROVED/FOUND. # 30 X 211. GUYED TOWER
 PADDAH WEST, KY
 GTE MOBLNET CLEVELAND OPERATIONS

DRAWING NO. 204535-B
 PAGE 6 OF 10



MAR 08 1999

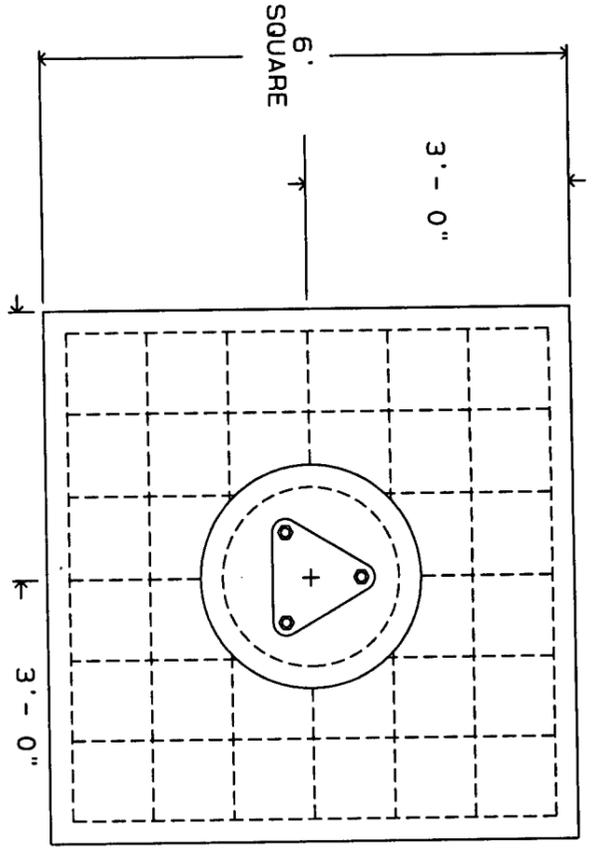
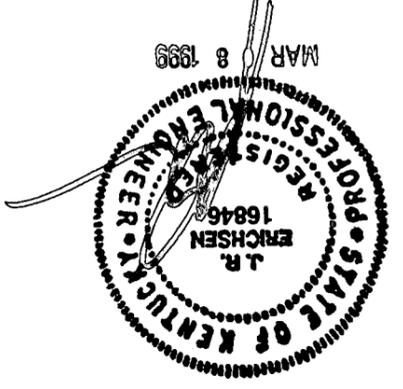
FOUNDATION NOTES

1. SOIL AS PER REPORT BY GET, INC., DATED: 2/19/99 (FILE: 98330)
2. CONCRETE TO BE 3000 PSI @28 DAYS. REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS. CONCRETE INSTALLATION TO CONFORM TO ACI-318 BUILDING REQUIREMENTS FOR REINFORCED CONCRETE. ALL CONCRETE TO BE PLACED AGAINST UNDISTURBED EARTH FREE OF WATER AND ALL FOREIGN OBJECTS AND MATERIALS. A MINIMUM OF THREE INCHES OF CONCRETE SHALL COVER ALL REINFORCEMENT. WELDING OF REBAR NOT PERMITTED.
3. ALL FILL SHOULD BE PLACED IN LOOSE LEVEL LIFTS OF NO MORE THAN 8" THICK. FILL MATERIALS SHOULD BE CLEAN AND FREE OF ORGANIC AND FROZEN MATERIALS OR ANY OTHER DELETERIOUS MATERIALS. COMPACT FILL TO 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698.
4. A COLD JOINT IS PERMISSIBLE. AT THE TOWER BASE ONLY. UPON CONSULTATION WITH PIROD. ALL COLD JOINTS SHALL BE COATED WITH BONDING AGENTS PRIOR TO SECOND POUR.
5. A SUMP PUMP OR OTHER DEWATERING SYSTEM MAY BE REQUIRED TO LOWER THE WATER TABLE TO FACILITATE THE INSTALLATION OF THE FOUNDATION.

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Printed from: 20453578.DWG - 03/08/1999 15: 41 @ 03/08/1999 15: 53\$ ARCHIVE		PAGE 7 OF 10			
REV	DESCRIPTION OF REVISIONS	DATE	INITI	DRAWN BY	TRP
A	REVISED TOWER HEIGHT	03/05/1999	TRP		
B	ADDED FOUNDATIONS PER SOIL REPORT	03/08/1999	WRH	APPROVED/FOUND	WRH 03/08/1999
				APPROVED/ENG.	WRH 03/08/1999

GTE MOBILENET CLEVELAND OPERATIONS
PADUCAH WEST, KY
30 X 211, GUYED TOWER

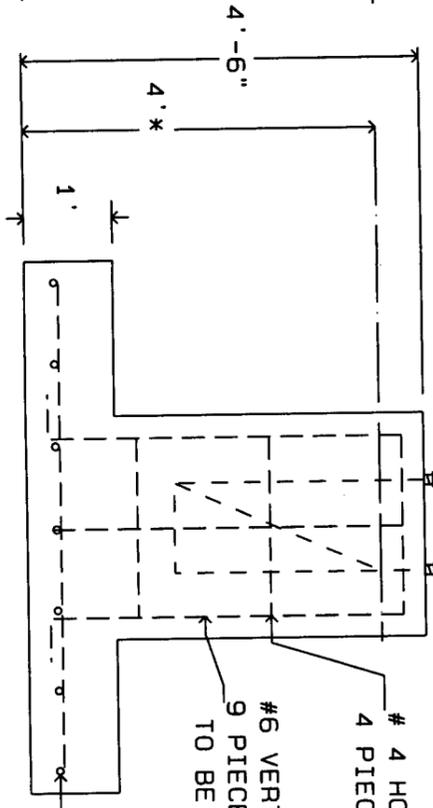
PRUD INC.
1545 Pidge Dr.
Plymouth, IN 46563-0128
219-936-4221



2'-6" ROUND PIER, CENTERED
AROUND THE CIRCULAR REBAR CAGE

* DEPTH SHOWN IS
MINIMUM ALLOWABLE.
ACTUAL DEPTH MUST
BE MIN. 6" BELOW
LOCAL FROST LEVEL.

FINISHED GRADE



TOWER BASE FOUNDATION
2.0 CU. YDS. CONCRETE REQUIRED

CAGE P/N 107261 CENTERED IN PIER.
INSTALL WITH 6" OF THREADS EXPOSED.
FOUNDATION PLATE P/N 107260.
GROUT AFTER LEVELING PLATE - BEFORE ERECTING TOWER.

4 HORIZONTAL TIES - SEE (C) ON PAGE 8.
4 PIECES REQ., EQUALLY SPACED.

6 VERTICAL REBAR, SEE (B) ON PAGE 8.
9 PIECES REQ., EQUALLY SPACED,
TO BE PLACED INSIDE TIES.

4 HORIZONTAL BARS - SEE (A) ON PAGE 8.
7 EACH WAY, EVENLY SPACED.

NOTE: ALL REBAR IS EQUALLY SPACED AND
REQUIRES MIN. 3" CONCRETE COVER.



90000 SERIES
10% P.C.W.

C



GEOTECH
Engineering &
Testing, Inc.

2720 Bridge Street • Paducah, KY 42003



GEOTECHNICAL EXPLORATION REPORT

OF

**PROPOSED GTE MOBILNET CELL TOWER
WEST PADUCAH, KENTUCKY**

Submitted By:

Geotech Engineering & Testing, Inc.

GEOTECH
Engineering &
Testing, Inc.

December 4, 1998

GPD Associates
2647 Waterfront Parkway East Drive
Indianapolis, Indiana 46214

Attention: Ms. Traci Preble

**RE: Geotechnical Exploration Report
Proposed GTE Mobilnet Tower
West Paducah, Kentucky**

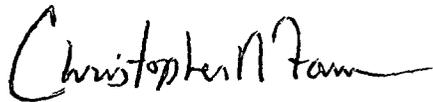
Dear Ms. Preble:

Geotech Engineering & Testing, Inc. (GEOTECH) is pleased to present the attached Geotechnical Exploration Report for the referenced site. The subsurface exploration was conducted in accordance with applicable ASTM Standards, and recognized standard field/laboratory procedures.

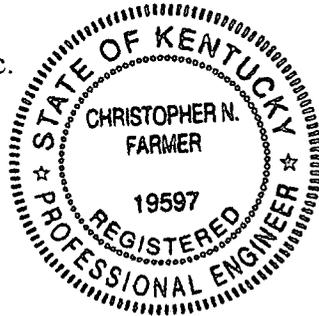
The attached report includes a review of pertinent project information provided to us, descriptions of site and subsurface conditions encountered and our recommendations for foundation design, site preparation and construction phase concerns. The Appendix contains a Boring Location Plan and the results of all field and laboratory tests conducted for this project.

We appreciate the opportunity to serve you and look forward to future association with you on this and other projects. If you have questions concerning this report, please call our office.

Sincerely
GEOTECH Engineering & Testing, Inc.



Christopher N. Farmer, P.E.
Principal Engineer



Attachments: Geotechnical Exploration Report

GEOTECHNICAL EXPLORATION
PROPOSED GTE MOBILNET TOWER
WEST PADUCAH, KENTUCKY

Prepared For:

GPD Associates
2647 Waterfront Parkway East Drive
Indianapolis, Indiana 46214

Prepared By:

GEOTECH Engineering & Testing, Inc.
2720 Bridge Street
Paducah, Kentucky 42003

December 4, 1998

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1.0 OBJECTIVE

The purpose of this geotechnical study is to explore the subsurface conditions present at the site and to determine pertinent engineering properties of the materials encountered.

2.0 PROJECT INFORMATION

The site is approximately ½ mile north of State Route 305 and approximately 1.2 miles west of the Paducah city limits. The property consists of an approximate 100 feet by 100 feet tract currently used as farmland.

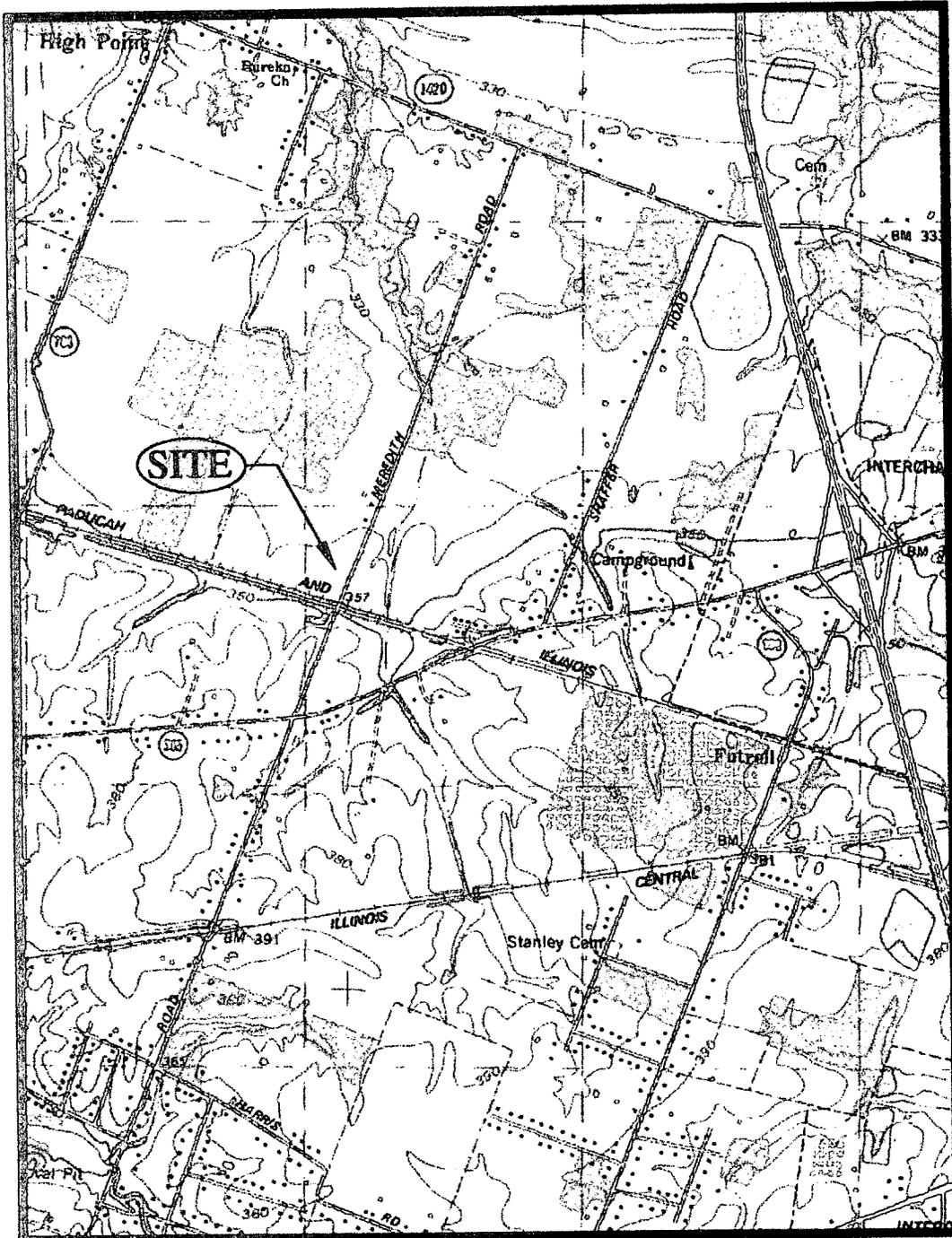
The proposed construction will include a 285 feet high tower supported by a base pad and three guyed anchors. The structural loads for the proposed tower will be supported by a conventional spread footing which will bear at approximately 5 to 7 feet below grade surface. In addition the three anchors will bear at depths of approximately 6 to 8 feet below grade surface.

3.0 SITE CHARACTERISTICS

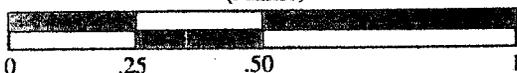
3.1 SITE DESCRIPTION

A site reconnaissance was conducted on November 20, 1998. Observations made during the site visit were used to assess drill rig accessibility and the location of utilities on-site. In addition, observations made at the time of drilling were used to aid in interpreting topographic, geologic and other conditions that may affect the proposed construction.

The site is located within the United States Geologic Survey, West Paducah, KY 7.5 Minute Quadrangle. An excerpt of the topographic map is shown in Figure 1.



SCALE
(MILES)



SOURCE: U. S. GEOLOGICAL SURVEY
PADUCAH WEST, KY-IL QUADRANGLE
7.5 MINUTE SERIES (TOPOGRAPHIC)

FIGURE 1: SITE VICINITY MAP

PROPOSED GTE MOBILNET TOWER
MEREDITH ROAD
WEST PADUCAH, KENTUCKY

GEOTECH
ENGINEERING & TESTING, INC.
2720 BRIDGE STREET
PADUCAH, KENTUCKY 42003

PH: (502) 443-1995

FAX: (502) 443-1904

The subject site is located on Meredith Road in West Paducah, Kentucky. The property lies on the west side of Meredith Road and the north side of the Paducah and Illinois Railroad. The site is approximately ½ mile north of State Route 305 and approximately 1.2 miles west of the Paducah city limits. The portion of the parcel that is being considered for lease is 100 feet square. L. D. Vannerson, Jr. currently owns the property. The topography of the immediate area is flat, with the approximate elevation of the site being 340 feet above sea level (National Geodetic Vertical Datum of 1929). The general location of the site is shown in Figure 1. Land usage in the vicinity of the site is predominantly farmland.

The site is bordered to the north and west by woods and farmland with the Paducah and Illinois Railroad located to the south. Meredith Road lies directly to the east of the property. The subject site is currently vacant. The major portion of the property is farmland.

3.2 EXPLORATORY METHOD

The procedures used by GEOTECH for field and laboratory sampling and testing are in general accordance with ASTM procedures, and established engineering practice.

A total of four soil test borings were advanced at the approximate locations shown on the attached Soil Boring Layout. The soil test borings were advanced on November 24, 1998.

Per client request three of the soil test borings were located at the proposed guy wire anchor locations and were advanced to a depth of 20 feet below grade surface. The remaining soil test boring was located at the proposed tower location and was advanced to a depth of 50 feet below grade surface. SCI Surveyors of Paducah, Kentucky had staked each boring location.

A MobileDrill truck mounted rotary-drilling rig was used to advance the soil test borings and to obtain soil samples for laboratory evaluation. Seamless steel Shelby Tubes were advanced each of the four soil test borings to obtain undisturbed soil samples for laboratory analysis. Disturbed

samples were also retrieved during Standard Penetration tests (ASTM D-1586) with a 2-inch I.D., split-spoon sampler for laboratory analysis and soil consistency verification.

Our project engineer observed and directed the drilling operations and visually classified soil samples obtained using the Unified Soil Classification System and ASTM D-2488 as guides. Records of the conditions encountered and visual soil classification were prepared by the engineer and are included in the Appendix. The Boring Records represent our interpretation of the conditions encountered. It should be noted that strata changes may vary from those encountered, transitions may be gradual, and conditions may vary significantly at other locations. The groundwater information listed represents conditions at the time of drilling and 24 hours after completion. Representative soil samples obtained from the borings were preserved in the Shelby Tubes or in plastic bags, sealed and taken to the laboratory for testing.

4.0 LABORATORY TESTING

Laboratory soil tests were conducted in accordance with applicable ASTM Standards. Natural moisture contents were determined for all samples collected. Liquid and Plastic Limits tests were conducted for selected soil samples to verify field classification of the soils. In addition, these tests evaluate the potential for volumetric changes in the soil. Laboratory test results are tabulated in Appendix D.

Applicable ASTM test procedures are as follows:

<u>TEST</u>	<u>STANDARD</u>
Dry Preparation of Soil	ASTM D 421
Natural Moisture Content	ASTM D 2216
Liquid and Plastic Limit	ASTM D 4318
Standard Penetration	ASTM D 1586
Unconfined Compression	ASTM D 2166

5.0 SUBSURFACE CONDITIONS

5.1 STRATIGRAPHY

The stratigraphy of the subject site was relatively consistent with across the site. At the time of drilling, the site had been recently harvested and only cornstalks and chaff were present. In all four borings advanced, a brown, low to moderate plasticity, moist, stiff, silty clay was encountered. The brown silty clay extended to depths of between 9 and 14 feet below grade surface. The soil was classified as stiff across the site. Standard Penetration Tests produced "N" values in the ranges of 10 to 18.

Beneath the silty clay strata, a reddish brown, moist silty, sandy, clay was encountered in soil test boring B-1. This silty, sandy, clay extended to 24 feet below grade in B-1. Standard Penetration Tests produced "N" values of 10. The soil was classified as stiff within this strata. Beneath this strata in soil boring B-1, interbedded silty, clayey, sand and reddish brown to gray, sandy, silty, clay. The interbedded layers extended to boring termination depth of 50 feet in soil test boring B-1.

In the remaining 3 soil test borings, a reddish brown, silty, clayey, sand with abundant rounded pebbles was encountered. This layer extended to depths of between 15 feet and boring termination depths of 20 feet for soil boring B-2. Standard Penetration Tests produced "N" values in the ranges of 11 and 21. The soil was classified as firm.

In soil test borings, B-3 and B-4 the silty, clayey, sand strata was underlain by a tan to gray, silty, sand layer. The silty sand was poorly graded and classified as firm to very dense. Standard Penetration Tests produced "N" values in the ranges of 14 to 57.

5.2 GROUNDWATER

Groundwater was encountered in each of the four soil test boring at the time of drilling. In addition, all soil borings were left open to obtain further groundwater information. Groundwater

was also observed in each of the four soil test borings twenty-four hours after completion. All borings were backfilled upon completion of the twenty-four hour groundwater measurements. Specific groundwater measurements are provided in the table below:

Boring	Static Groundwater Depths	
	Depth (@ time of drilling)	Depth (@ 24 hours)
B-1	12	4
B-2	5.5	4
B-3	7	4
B-4	5	4

5.3 LABORATORY RESULTS

Natural moisture contents were determined for the soil samples collected. Moisture content ranged greatly across the site with depth. This is due to the relatively shallow static groundwater levels which were observed. Samples from 6 to 8 feet deep ranged from 10.44 to 52.47 percent. Samples from 8 to 10 feet deep ranged from 18.71 to 70.77 percent. Samples from 13 to 15 feet ranged from 9.74 to 62.19 percent. Samples from 18 to 20 feet deep ranged from 16.86 to 61.16 percent. Exact moisture contents for all samples are tabulated in the appendix.

Field and laboratory tests were conducted to evaluate the soil strength characteristics on site. Standard Penetration Tests conducted in the field produced "N" values (blow counts), from 10 to 18 within the silty clay strata. The "N" values are closely correlated with the average soil consistency and an unconfined compressive strength. The "N" values indicate that the soil consistencies are firm to very stiff. The blow counts correlate to unconfined compressive strengths of approximately 1,500 to 2,000 pounds per square foot.

Standard Penetration Tests produced "N" values, from 11 to 57 within the silty, clayey, sand strata. The "N" values indicated that the soil consistencies are firm to very dense. However, the elevated

blow counts were the result of pebbles and gravel within the soil strata. The blow counts correlate to unconfined compressive strengths of approximately 2,000 to 2,500 pounds per square foot.

Unconfined compression (UC) tests were conducted to evaluate soil strength. From the unconfined compression (UC) tests, it was determined that soils ranged from stiff to very stiff consistency. The unconfined soil strength tests ranged from 1,720 to 5,227 pounds per square foot. Unconfined compression tests were performed on soils at depths of 8 - 10 feet in three soil borings.

Atterberg Limits tests were conducted on samples from soil test borings B-1 (28' - 30'). From the test results, liquid limit and plastic limit values were obtained. A plasticity index was then calculated using the liquid and plastic limit values. Using the results from the Atterberg Limits tests, the soils were classified using the Unified Soil Classification System. All samples tested were classified as inorganic silty clays of low to medium plasticity (CL). This description includes gravelly clays, sandy clays, clays and lean clays. Soil samples that have a Plasticity Index <18 have a relatively low potential for soil volume change due to changing moisture contents.

6.0 GEOTECHNICAL CONSIDERATIONS

Based on site observations and subsurface conditions encountered, a couple of areas of geotechnical concerns were noted. First, relatively high groundwater levels were encountered during drilling activities and 24-hours after drilling activities ceased. As noted in Section 5.2, groundwater levels were observed at approximately 4 feet below ground surface after 24-hours.

In general, excessive moisture will have the effect of lowering the in-situ soil strength of the silty clays present on site. As a result of the lowering of soil strength, as load is added to the subsurface soils the potential for settlement increases. No specific structural information was provided to Geotech for in-depth analysis. However, given the fact that the upper silty clays were underlain by sandy soils, there is a potential for consolidation of the soils during groundwater fluctuations once the structural loads are added. However, if designed loads are kept within the recommended allowable soil bearing capacity the risk of settlement would be kept to a minimum.

It is possible that a caisson type foundation system be used to support the proposed structure. A caisson foundation system can be used typically when compressible soils overlie relatively dense strata. Due to the underlying sandy materials increased bearing capacities would be anticipated. However, due to the high groundwater table, special dewatering techniques and casing would need to be employed. Design values are provided in the following sections of this report for both foundation alternatives.

Secondly, it is likely that groundwater will be encountered during excavation for site grading and for foundation members. Where seepage occurs, it will be necessary to dewater the excavations and to prevent the seepage water from accelerating the deterioration of the subgrade. Gravity drainage, sump pumps or additional conventional minor dewatering procedures should be sufficient for this purpose. The shallow groundwater level and the limited thickness of soil overburden suggest that the site will be very susceptible to climatic changes during and following periods of rain. These periods of rain may make the site very wet and will possible raise groundwater levels making earthwork and construction impractical.

It is highly recommended that a geotechnical engineer verify soil-bearing characteristics after site stripping, foundation excavation and prior to concrete placement for any foundation member

7.0 RECOMMENDATIONS

7.1 BASIS FOR RECOMMENDATIONS

The following recommendations are based on data from this exploration and the stated project information. In our evaluations, we have utilized both subsurface data from this exploration and our experience with similar structures and subsurface conditions. If the structural information is incorrect or changed subsequent to our reporting, if the siting or building components have been

changed, or if the subsurface conditions encountered during the construction vary from those reported, our recommendations should be reviewed in light of the changed conditions.

Recommendations provided in this report are based in part on the assumption that our engineers will observe construction. We request that GEOTECH be retained to provide construction phase soil and material-testing services based on our knowledge of site conditions.

7.2 SITE PREPARATION

7.2.1 *Stripping*

To prepare the site for construction, the building area should be stripped of trees, topsoil, large root zones, old fill, or other organic or soft soil. Stripping should extend at least 10 feet beyond the construction area. Any extensively soft soil deposits should be evaluated by a geotechnical engineer to determine the amount of undercutting required.

7.2.2 *Subgrade Preparation*

After stripping, the site should be proof rolled in the presence of a geotechnical engineer. Proof rolling should be performed by making repeated passes over the subgrade with a heavy rubber-tired vehicle, such as a loaded dump truck. Any areas judged to deflect excessively during proof rolling should be undercut and rerolled. This process should be repeated until all soft soils are removed or the geotechnical engineer recommends an alternate stabilization method.

7.2.3 *Soil Fill Placement*

Fill soils should be free of organics, deleterious debris, or rocks larger than 3 inches in diameter. Suitable fill soil should have a plasticity index (PI) of less than 40 and a maximum dry density according to the standard Proctor compaction test of at least 110 pounds per cubic foot (pcf).

The fill should be compacted to at least 98 percent of the soil standard Proctor (ASTM D-698) maximum dry density of the soil at a moisture content within 2 percent of optimum. The soil should be placed in lifts of 8 inches or less, and should be compacted and tested prior to placing additional lifts. All fill pads should extend laterally at least 5 feet beyond the building before sloping down. In-place density testing should be conducted for each lift placed to check the compaction achieved.

7.3 FOUNDATION RECOMMENDATIONS

7.3.1 *Tower and Anchor Design*

Based on information provided by the client, conventional spread footings and embedded anchors are to be used to support the proposed structures. However, additional design information for an alternative caisson type foundation is also provided

A shallow soil bearing footing may be used to support the proposed tower. The foundation should bear in the firm to stiff residual silty clays found at the site. A maximum allowable net soil bearing pressure of 1,500 pounds per square foot (psf) should be used for design. Foundations should bear a minimum of 30 inches below final exterior grade to resist weather effects. A minimum foundation width of 24-inches should be used.

Guy wire anchors should be embedded in the firm to stiff residual silty clays encountered on-site. Anchors should be designed using a uniform passive lateral earth pressure of 1,000 psf and a base cohesion of 200 psf to resist horizontal loads. Anchor side shear to resist uplift and horizontal loads also should be estimated for the residual silty clays based on an allowable shear strength of 350 psf. An approximate moist unit weight of 110 pound per cubic foot (pcf) was estimated for the soils encountered. A summary of the recommended soil design parameters are given below:

Soil	Allowable Bearing Capacity (psf)	Dry Density (pcf)	Coefficient of Friction Against Sliding	K _v	Cohesion (psf)	φ (degrees)
Silty Clay	1,500	110	.35	1.9	200	18 °

An alternative foundation would include the use of a caisson-type foundation for the center tower. For this type of foundation special techniques should be employed for excavation and for concrete placement. Dewatering of the excavation will most likely be necessary. A summary of the recommended soil design parameters are given below:

Soil	Allowable End Bearing Capacity (psf)	Cohesion (psf)	Allowable Skin Friction (psf)
Clayey Sand	1,800	---	120

7.3.2 Prefabricated Building Foundation

Given the relatively light loads generated by the proposed prefabricated building, it is recommended that the structure be supported by piers or spread footings bearing in the firm to stiff silty clays located on-site. These shallow foundation members should be designed based on a maximum allowable net soil bearing pressure of 1,500 psf. The foundations should have minimum widths of 24 inches and should bear at least 30 inches below the final exterior soil subgrade.

It should be noted that foundation soil bearing surfaces can degrade when exposed to drying, precipitation, and cold temperatures for extended periods. As a result, it is advisable to pour concrete the same day that footings are excavated. If this is not possible, a mud mat of lean concrete should be placed on the bearing surface.

In order to confirm that subgrade degradation has not occurred, and in general, to confirm that suitable bearing materials are present, a geotechnical engineer or his/her representative should check each foundation excavation. This check also will serve to confirm that the bearing material encountered in the excavations is consistent with those found in this study. The geotechnical

engineer also should be present to determine that significant frozen, loose, soft, or wet materials are not present in the excavation. The geotechnical engineer's observations, therefore, should take place after the excavation has been excavated and cleaned out completely.

7.3.3 Floor Slabs

In the event that grade-supported floor slabs are included in the prefabricated building design, the subgrade conditions present should be suitable, provided that the recommendation concerning the soft surficial soils are taken into consideration. Topsoil and soft surficial soils should be removed from the slab subgrade so that the slabs bear on suitable subgrade soils.

The shallow, soil-bearing foundations are recommended to support the proposed structure. The foundations should bear in the silty clay layer encountered at the site. It is recommended that foundations which are seated to a depth of four feet below grade surface should be designed for net allowable soil bearing pressures of 1,500 pounds per square feet (psf) for continuous wall and isolated column footings.

Isolated and continuous footings should have minimum widths of at least 24 inches and 18 inches respectively. Exterior footings and all others exposed to the weather should bear at least 24 inches below final exterior grade. Interior footings not exposed to the weather should bear at least 12 inches below the soil subgrade.

7.3.4 Groundwater Control

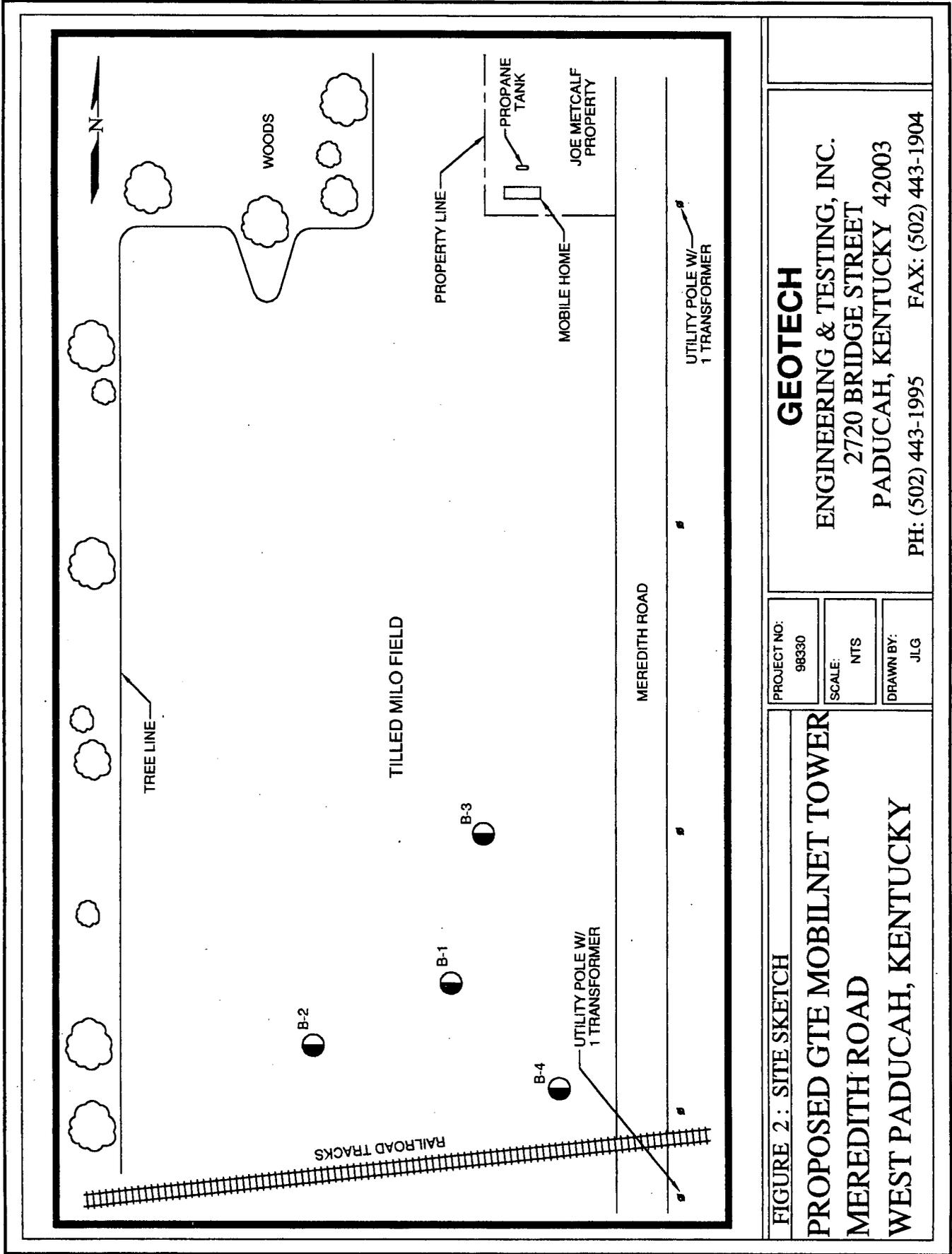
Since the site was observed to have poor surface drainage conditions, surface/seepage water effects could be a concern for the type of structures planned; therefore, provisions should be made for removal surface/seepage water from the construction area. A general improvement may be realized by constructing shallow surface ditches around the perimeter and at intervals across the site or in a tributary pattern. The ditches should be graded to drain by gravity and could be a part of the permanent surface drainage system for the site.

It may be feasible to dewater localized excavations using small pumps in sumps or trenches. Care should be taken not to allow silts and fine sands to be washed into the sump, as subsidence of adjacent ground may result. If pumps are not adequate to dewater the excavations, or if silting of the sump is detected, the geotechnical engineer should be contacted.

The conclusions and recommendations of this exploration report are based on conditions encountered in the borings at the time of investigation. No warranty can be made for the continuity of soil conditions between borings. If conditions differ from those encountered in this exploration, this office should be notified immediately in order to evaluate these conditions.

Appendix A

Soil Boring Layout Map



GEOTECH
 ENGINEERING & TESTING, INC.
 2720 BRIDGE STREET
 PADUCAH, KENTUCKY 42003
 PH: (502) 443-1995 FAX: (502) 443-1904

PROJECT NO: 98330
 SCALE: NTS
 DRAWN BY: JLJ

FIGURE 2: SITE SKETCH
PROPOSED GTE MOBILNET TOWER
MEREDITH ROAD
WEST PADUCAH, KENTUCKY

Appendix B

Soil Boring Profile Map

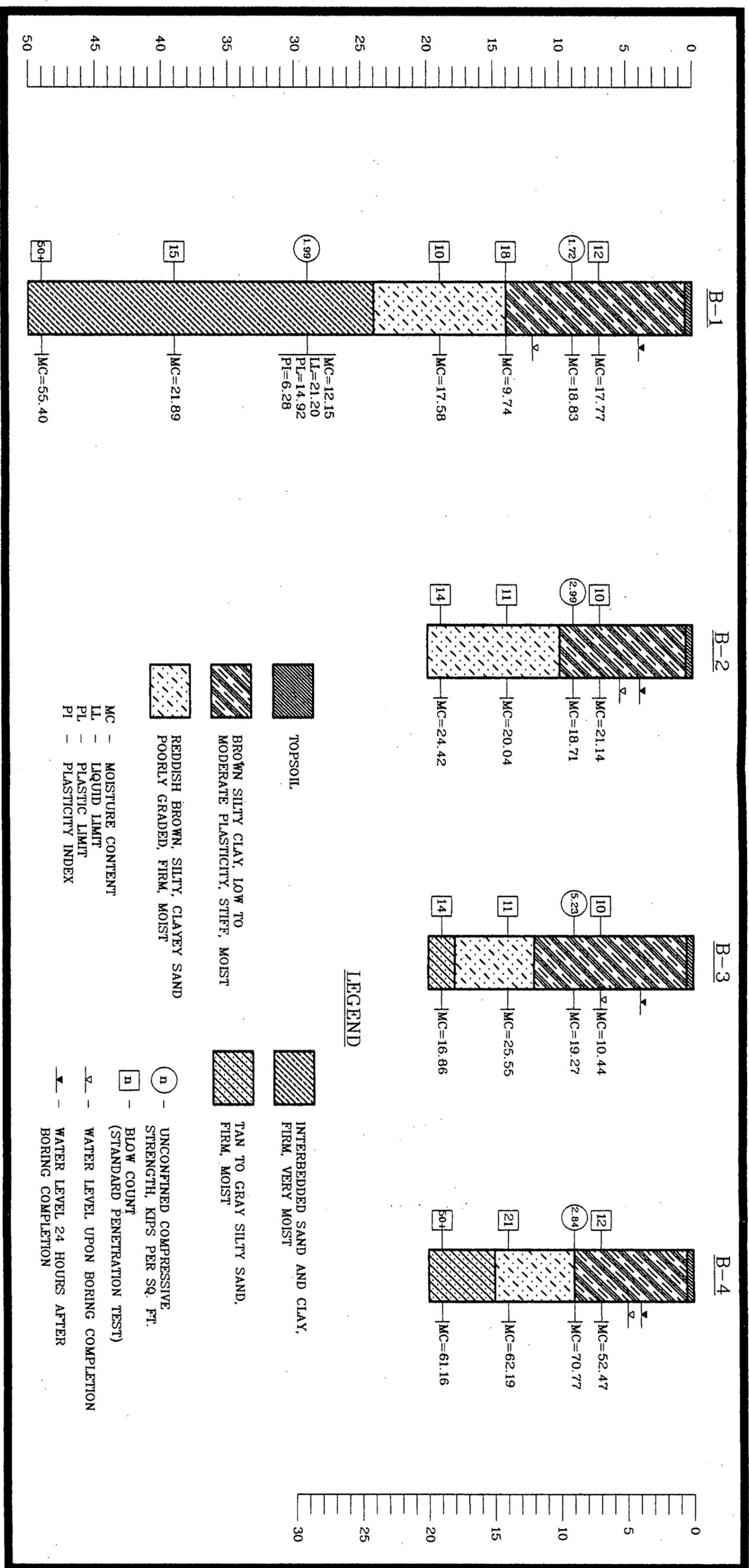


FIGURE 3: SOIL BORING CROSS SECTIONS

Proposed GTE Mobilnet Tower
 Meredith Road
 West Paducah, Kentucky

PROJECT NO:
98330

SCALE:
AS SHOWN

DRAWN BY:
JLG

GEOTECH

ENGINEERING & TESTING, INC.
 2720 BRIDGE STREET
 PADUCAH, KENTUCKY 42003

PH: (502) 443-1995 FAX: (502) 443-1904

Appendix C

Soil Boring Logs

SUBSURFACE BORING LOG

Project: Proposed GTE Mobilnet Tower **Date:** 11/24/98 **Boring No.:** B-1

Location: West Paducah, Kentucky **Job No.:** 98330 **Page:** 1 of 1

Surface Elevation: --- **Method:** Hollow Stem Augers
Split S. / Shelby Tube **Logged By:** C. Farmer

Depth (ft)	Soil / Rock Description	Sample Type Depth	"N" Blow / 6"	Sample Recovery	Moisture %	Comments
0	Cornstalks / Chaff					GW @ drilling = 12 feet GW @ 24 hours = 4 feet
	Topsoil	1 (6' - 8')	5 - 5 - 7	100 %	17.77	
	Brown silty CLAY, (CL), low to moderate plasticity, stiff, moist	SS				
		2 (8' - 10')	N/A	---	18.83	Unconfined Compressive Strength = 1.720 ksf
		ST				
		3 (13' - 15')	7 - 10 - 8	100 %	9.74	
	Reddish brown, silty, sandy, CLAY, (CL), low to moderate plasticity, stiff, moist, with abundant rounded pebbles	SS				
		4 (18' - 20')	4 - 4 - 6	80 %	17.58	
		ST				
		4 (28' - 30')	N/A	---	---	Unconfined Compressive Strength = 1.985 ksf
	Interbedded brown, silty, clayey SAND (SP) and reddish brown to gray sandy, silty, CLAY (CL), firm, very moist to wet	SS				
		5 (38' - 40')	10 - 8 - 7	80 %	21.89	
		ST				
		6 (48' - 50')	17 - 20 - 43	75 %	55.40	
	Boring Terminated @ 50 feet	SS				

GW = Groundwater
SS = Splitspoon Sampler
ST = ShelbyTube Sampler
KSF = Kips per Square Feet

SUBSURFACE BORING LOG

Project: Proposed GTE Mobilnet Tower **Date:** 11/25/98 **Boring No.** B-2

Location: West Paducah, Kentucky **Job No.:** 98330 **Page** 1 of 1

Surface Elevation: --- **Method:** Hollow Stem Auger
Split S. / Shelby Tube **Logged By:** C. Farmer

Depth (ft)	Soil / Rock Description	Sample Type Depth	"N" Blow / 6"	Sample Recovery	Moisture %	Comments
0	Cornstalks / Chaff					GW @ drilling = 5.5 feet GW @ 24 hours = 4 feet
	Topsoil					
	Brown, silty CLAY (CL), low to moderate plasticity, stiff, moist					Soil test borings were backfill with soil cuttings upon completion.
5		1 6' - 8' SS	6 - 4 - 6	80 %	21.14	
		2 8' - 10' ST	---	---	18.71	Unconfined Compressive Strength = 2.991 ksf
10	Reddish brown, silty, clayey, SAND, (SP), poorly graded, firm moist, with abundant rounded pebbles					
		3 13' - 15' SS	3 - 5 - 6	75 %	20.04	
15						
		4 18' - 20' SS	3 - 7 - 7	80 %	24.42	
20	Boring Terminated @ 20 feet					
25						

GW = Groundwater
ST = Shelby Tube Sample
SS = Splitspoon Sample
KSF = Kips per Square Feet

SUBSURFACE BORING LOG

Project: Proposed GTE Mobilnet Tower **Date:** 11/25/98 **Boring No.:** B-3

Location: West Paducah, Kentucky **Job No.:** 98330 **Page:** 1 of 1

Surface Elevation: --- **Method:** Hollow Stem Auger
Split S. / Shelby Tube **Logged By:** C. Farmer

Depth (ft)	Soil / Rock Description	Sample Type Depth	"N" Blow / 6"	Sample Recovery	Moisture %	Comments
0	Cornstalks / Chaff					GW @ drilling = 7 feet GW @ 24 hours = 4 feet
	Topsoil					
	Brown, silty CLAY (CL), low to moderate plasticity, stiff, moist					Soil test borings were backfill with soil cuttings upon completion.
5		1 6' - 8' SS	6 - 4 - 6	70 %	10.44	
		2 8' - 10' ST	---	---	19.27	Unconfined Compressive Strength = 5.227 ksf
10						
	Reddish brown, silty, clayey, SAND, (SP), poorly graded, firm moist, with abundant rounded pebbles	3 13' - 15' SS	3 - 5 - 6	75 %	25.55	
15						
	Tan to gray, silty, SAND, (SP), poorly graded, firm, moist	4 18' - 20' SS	3 - 7 - 7	85 %	16.86	
20	Boring Terminated @ 20 feet					
25						

GW = Groundwater
ST = Shelby Tube Sample
SS = Splitspoon Sample
KSF = Kips per Square Feet

SUBSURFACE BORING LOG

Project: Proposed GTE Mobilnet Tower **Date:** 11/25/98 **Boring No.** B-4

Location: West Paducah, Kentucky **Job No:** 98330 **Page** 1 of 1

Surface Elevation: **Method:** Hollow Stem Auger
Split S. / Shelby Tube **Logged By:** C. Farmer

Depth (ft)	Soil / Rock Description	Sample Type Depth	"N" Blow / 6"	Sample Recovery	Moisture %	Comments
0	Cornstalks / Chaff					GW @ drilling = 5 feet GW @ 24 hours = 4 feet
	Topsoil					Soil test borings were backfill with soil cuttings upon completion.
	Brown, silty CLAY (CL), low to moderate plasticity, stiff, very moist					
5		1 6' - 8' SS	4 - 4 - 8	75 %	52.47	
		2 8' - 10' ST	---	---	70.77	Unconfined Compressive Strength = 2.839 ksf
10	Reddish brown to gray, silty, clayey, SAND, (SP), poorly graded, firm moist, with abundant rounded pebbles					
		3 13' - 15' SS	4 - 8 - 13	100 %	62.19	
15	Tan to gray, silty, SAND, (SP), poorly graded, firm, moist					
		4 18' - 20' SS	7 - 22 - 35	80 %	61.16	
20	Boring Terminated @ 20 feet					
25						

GW = Groundwater
ST = Shelby Tube Sample
SS = Splitspoon Sample
KSF = Kips per Square Feet

Appendix D

Laboratory Test Data

GEO TECH Engineering & Testing, Inc.
Laboratory Determination of Water Content of Soil and Rock - ASTM D 2216
Proposed GTE Mobilnet Cell Tower - West Paducah, Kentucky

BORING NO.	B-1	B-1	B-1	B-1	B-1	B-1
SAMPLE DEPTH	6'-8'	8'-10'	13'-15'	18'-20'	38'-40'	48'-50'
CUP NO.	12	33	13	14	15	16
MASS OF CUP + WET SOIL	71.30	143.18	80.07	80.14	102.04	69.87
MASS OF CUP + DRY SOIL	62.77	122.81	74.29	70.37	86.41	50.23
MASS OF CUP	14.76	14.61	14.96	14.78	15.00	14.78
MASS OF DRY SOIL	48.01	108.20	59.33	55.59	71.41	35.45
MASS OF WATER	8.53	20.37	5.78	9.77	15.63	19.64
WATER CONTENT (%)	17.77	18.83	9.74	17.58	21.89	55.40

BORING NO.	B-2	B-2	B-2	B-2	B-3	B-3
SAMPLE DEPTH	6'-8'	8'-10'	13'-15'	18'-20'	6'-8'	8'-10'
CUP NO.	17	28	18	19	20	34
MASS OF CUP + WET SOIL	70.84	108.57	69.53	75.74	64.59	131.53
MASS OF CUP + DRY SOIL	61.06	93.81	60.40	63.76	59.88	112.68
MASS OF CUP	14.80	14.91	14.85	14.71	14.77	14.84
MASS OF DRY SOIL	46.26	78.90	45.55	49.05	45.11	97.84
MASS OF WATER	9.78	14.76	9.13	11.98	4.71	18.85
WATER CONTENT (%)	21.14	18.71	20.04	24.42	10.44	19.27

BORING NO.	B-3	B-3	B-4	B-4	B-4	B-4
SAMPLE DEPTH	13'-15'	18'-20'	6'-8'	8'-10'	13'-15'	18'-20'
CUP NO.	21	22	23	35	24	25
MASS OF CUP + WET SOIL	67.55	78.50	62.49	91.90	69.42	64.55
MASS OF CUP + DRY SOIL	56.80	69.30	46.02	59.90	48.45	45.67
MASS OF CUP	14.72	14.74	14.63	14.68	14.73	14.80
MASS OF DRY SOIL	42.08	54.56	31.39	45.22	33.72	30.87
MASS OF WATER	10.75	9.20	16.47	32.00	20.97	18.88
WATER CONTENT (%)	25.55	16.86	52.47	70.77	62.19	61.16

BORING NO.						
SAMPLE DEPTH						
CUP NO.						
MASS OF CUP + WET SOIL						
MASS OF CUP + DRY SOIL						
MASS OF CUP						
MASS OF DRY SOIL						
MASS OF WATER						
WATER CONTENT (%)						

BORING NO.						
SAMPLE DEPTH						
CUP NO.						
MASS OF CUP + WET SOIL						
MASS OF CUP + DRY SOIL						
MASS OF CUP						
MASS OF DRY SOIL						
MASS OF WATER						
WATER CONTENT (%)						

GEOTECH Engineering & Testing, Inc.
Liquid Limit, Plastic Limit and Plasticity Index of Soils - ASTM D 4318
 West Paducah, Kentucky

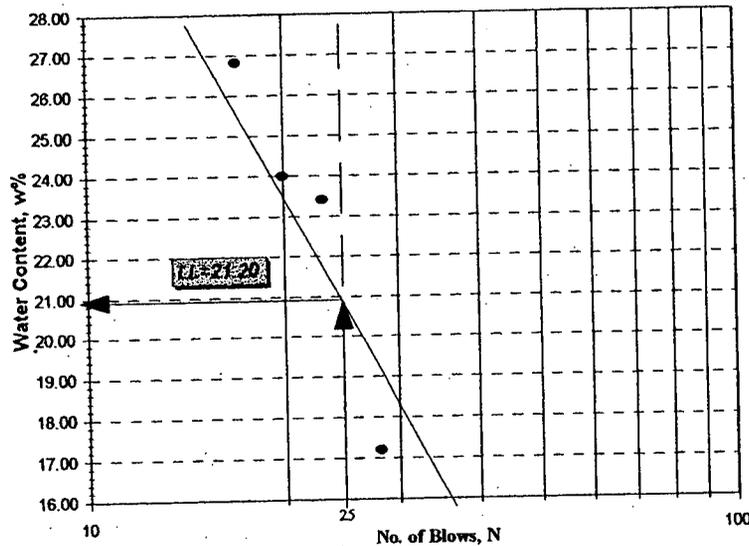
DATE	12/01/98
BORING NO.	B-1
SAMPLE DEPTH	28'-30'
TESTED BY	CG
DESCRIPTION OF SAMPLE	Brown Silty Clay

LIQUID LIMIT	21.20
PLASTIC LIMIT	14.92
PLASTICITY INDEX	6.28
CLASSIFICATION	CL

LIQUID LIMIT DETERMINATION

CUP NO.	3	4	5	6
MASS OF CUP + WET SOIL	36.48	32.40	34.33	38.88
MASS OF CUP + DRY SOIL	33.29	29.07	30.55	33.84
MASS OF CUP	14.75	14.84	14.80	15.04
MASS OF DRY SOIL	18.54	14.23	15.75	18.80
MASS OF WATER	3.19	3.33	3.78	5.04
WATER CONTENT (%)	17.21	23.40	24.00	26.81
No. OF BLOWS	28	23	20	17

Liquid Limit Determination



PLASTIC LIMIT DETERMINATION

CUP NO.	7	8	9
MASS OF CUP + WET SOIL	26.72	22.38	21.42
MASS OF CUP + DRY SOIL	25.13	21.34	20.56
MASS OF CUP	14.64	14.48	14.61
MASS OF DRY SOIL	10.49	6.86	5.95
MASS OF WATER	1.59	1.04	0.86
WATER CONTENT (%)	15.16	15.16	14.45

GEOTECH Engineering & Testing, Inc.

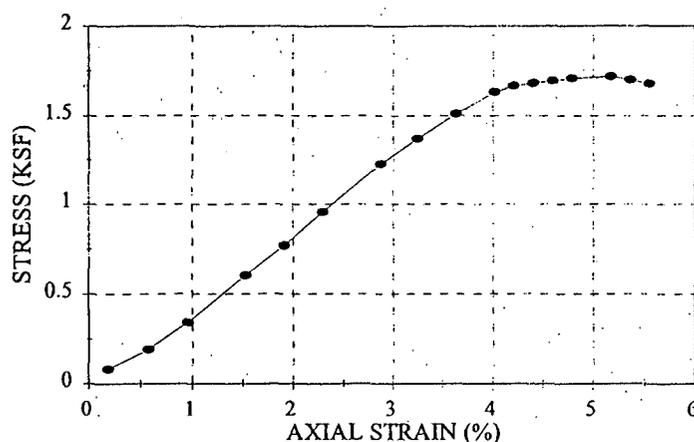
Unconfined Compressive Strength of Cohesive Soil - ASTM D 2166
Proposed GTE Mobilnet Cell Tower - West Paducah, Kentucky

DATE:	11/30/98
BORING NO.:	B-1
SAMPLE DEPTH:	8' - 10'
SAMPLE DESCRIPTION:	Brown Silty Clay
SPECIMAN DIAMETER (IN.):	2.867
SPECIMAN AREA (SQ. IN.):	6.457
SPECIMAN LENGTH (IN.):	5.222

CUP NO.:	33
CUP - WET SOIL:	143.18
CUP - DRY SOIL:	122.81
CUP:	14.61
DRY SOIL:	108.20
WATER:	20.37
WATER CONTENT (%):	18.83

STRAIN GAUGE	SPECIMAN DEFORMATION (IN.)	VERTICAL STRAIN	VERTICAL STRAIN (%)	PROVING RING DIVISIONS	LOAD (LB.)	CORRECTED AREA (SQ. IN.)	STRESS (PSI)	STRESS (KSF)
10	0.010	0.002	0.2	4	3.424	6.470	0.529	0.076
30	0.030	0.006	0.6	10	8.560	6.495	1.318	0.190
50	0.050	0.010	1.0	18	15.408	6.520	2.363	0.340
80	0.080	0.015	1.5	32	27.392	6.558	4.177	0.601
100	0.100	0.019	1.9	41	35.096	6.583	5.331	0.768
120	0.120	0.023	2.3	51	43.656	6.609	6.605	0.951
150	0.150	0.029	2.9	66	56.496	6.648	8.498	1.224
170	0.170	0.033	3.3	74	63.344	6.675	9.490	1.367
190	0.190	0.036	3.6	82	70.192	6.701	10.475	1.508
210	0.210	0.040	4.0	89	76.184	6.728	11.324	1.631
220	0.220	0.042	4.2	91	77.896	6.741	11.555	1.664
230	0.230	0.044	4.4	92	78.752	6.755	11.659	1.679
240	0.240	0.046	4.6	93	79.608	6.768	11.762	1.694
250	0.250	0.048	4.8	94	80.464	6.782	11.865	1.708
270	0.270	0.052	5.2	95	81.320	6.809	11.943	1.720
280	0.280	0.054	5.4	94	80.464	6.823	11.793	1.698
290	0.290	0.056	5.6	93	79.608	6.837	11.644	1.677

STRESS vs. STRAIN

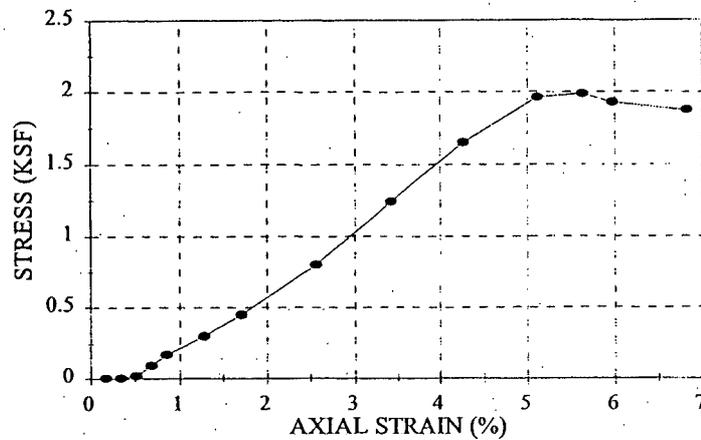


GEOTECH Engineering & Testing, Inc.
Unconfined Compressive Strength of Cohesive Soil - ASTM D 2166
Proposed GTE Mobilnet Cell Tower - West Paducah, Kentucky

DATE	11/30/98	CUP NO	27
BORING NO	B-1	CUP + WET SOIL	101.54
SAMPLE DEPTH	28' - 30'	CUP + DRY SOIL	90.54
SAMPLE DESCRIPTION	Brown Silty Clay	CUP	14.94
SPECIMAN DIAMETER (IN)	2.865	DRY SOIL	90.54
SPECIMAN AREA (SQ IN)	6.445	WATER	11.00
SPECIMAN LENGTH (IN)	5.858	WATER CONTENT (%)	12.15

STRAIN GAUGE	SPECIMAN DEFORMATION (IN)	VERTICAL STRAIN	VERTICAL STRAIN (%)	PROVING RING DIVISIONS	LOAD (LB)	CORRECTED AREA (SQ IN)	STRESS (PSI)	STRESS (KSF)
10	0.010	0.002	0.2	0	0.000	6.456	0.000	0.000
20	0.020	0.003	0.3	0	0.000	6.467	0.000	0.000
30	0.030	0.005	0.5	1	0.856	6.478	0.132	0.019
40	0.040	0.007	0.7	5	4.280	6.490	0.660	0.095
50	0.050	0.009	0.9	9	7.704	6.501	1.185	0.171
75	0.075	0.013	1.3	16	13.696	6.529	2.098	0.302
100	0.100	0.017	1.7	24	20.544	6.557	3.133	0.451
150	0.150	0.026	2.6	43	36.808	6.615	5.565	0.801
200	0.200	0.034	3.4	67	57.352	6.673	8.595	1.238
250	0.250	0.043	4.3	90	77.040	6.733	11.443	1.648
300	0.300	0.051	5.1	108	92.448	6.793	13.609	1.960
330	0.330	0.056	5.6	110	94.160	6.830	13.786	1.985
350	0.350	0.060	6.0	107	91.592	6.855	13.362	1.924
400	0.400	0.068	6.8	105	89.880	6.918	12.993	1.871

STRESS vs. STRAIN



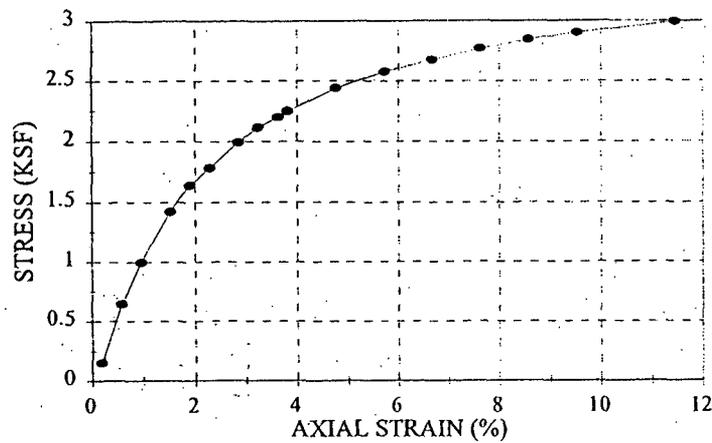
GEOTECH Engineering & Testing, Inc.

**Unconfined Compressive Strength of Cohesive Soil - ASTM D 2166
Proposed GTE Mobilnet Cell Tower - West Paducah, Kentucky**

DATE	11/30/98	CUP NO.	28
BORING NO.	B-2	CUP - WET SOIL	108.57
SAMPLE DEPTH	8' - 10'	CUP - DRY SOIL	93.81
SAMPLE DESCRIPTION	Brown Silty Clay	CUP	14.91
SPECIMAN DIAMETER (IN.)	2.876	DRY SOIL	78.90
SPECIMAN AREA (SQ. IN.)	6.496	WATER	14.76
SPECIMAN LENGTH (IN.)	5.241	WATER CONTENT (%)	18.71

STRAIN GAUGE	SPECIMAN DEFORMATION (IN.)	VERTICAL STRAIN	VERTICAL STRAIN (%)	PROVING RING DIVISIONS	LOAD (LB.)	CORRECTED AREA (SQ. IN.)	STRESS (PSI)	STRESS (KSF)
10	0.010	0.002	0.2	8	6.848	6.509	1.052	0.152
30	0.030	0.006	0.6	34	29.104	6.534	4.454	0.641
50	0.050	0.010	1.0	53	45.368	6.559	6.917	0.996
80	0.080	0.015	1.5	76	65.056	6.597	9.861	1.420
100	0.100	0.019	1.9	88	75.328	6.623	11.374	1.638
120	0.120	0.023	2.3	96	82.176	6.649	12.360	1.780
150	0.150	0.029	2.9	108	92.448	6.688	13.824	1.991
170	0.170	0.032	3.2	115	98.440	6.714	14.662	2.111
190	0.190	0.036	3.6	120	102.720	6.741	15.239	2.194
200	0.200	0.038	3.8	123	105.288	6.754	15.589	2.245
250	0.250	0.048	4.8	135	115.560	6.822	16.940	2.439
300	0.300	0.057	5.7	144	123.264	6.891	17.888	2.576
350	0.350	0.067	6.7	151	129.256	6.961	18.568	2.674
400	0.400	0.076	7.6	158	135.248	7.033	19.230	2.769
450	0.450	0.086	8.6	164	140.384	7.106	19.754	2.845
500	0.500	0.095	9.5	169	144.664	7.181	20.144	2.901
600	0.600	0.114	11.4	178	152.368	7.336	20.770	2.991

STRESS vs. STRAIN



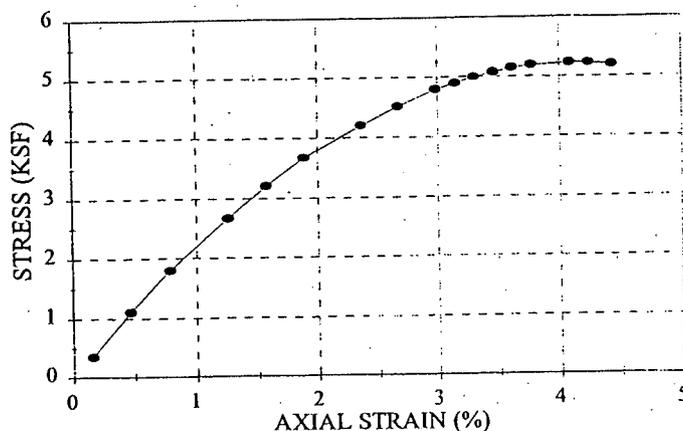
GEOTECH Engineering & Testing, Inc.
Unconfined Compressive Strength of Cohesive Soil - ASTM D-2166
Proposed GTE Mobilnet Cell Tower - West Paducah, Kentucky

DATE	11/30/98
BORING NO.	B-3
SAMPLE DEPTH	8' - 10'
SAMPLE DESCRIPTION	Brown Silty Clay
SPECIMEN DIAMETER (IN.)	2.865
SPECIMEN AREA (SQ. IN.)	6.447
SPECIMEN LENGTH (IN.)	6.361

CUP NO.	34
CUP - WET SOIL	131.53
CUP - DRY SOIL	112.68
CUP	14.84
DRY SOIL	97.84
WATER	18.85
WATER CONTENT (%)	19.27

STRAIN GAUGE	SPECIMAN DEFORMATION (IN.)	VERTICAL STRAIN	VERTICAL STRAIN (%)	PROVING RING DIVISIONS	LOAD (LB)	CORRECTED AREA (SQ. IN.)	STRESS (PSI)	STRESS (KSF)
10	0.010	0.002	0.2	18	15.408	6.457	2.386	0.344
30	0.030	0.005	0.5	58	49.648	6.477	7.665	1.104
50	0.050	0.008	0.8	95	81.320	6.498	12.515	1.802
80	0.080	0.013	1.3	141	120.696	6.529	18.487	2.662
100	0.100	0.016	1.6	170	145.520	6.550	22.218	3.199
120	0.120	0.019	1.9	195	166.920	6.571	25.404	3.658
150	0.150	0.024	2.4	225	192.600	6.602	29.171	4.201
170	0.170	0.027	2.7	242	207.152	6.624	31.274	4.503
190	0.190	0.030	3.0	258	220.848	6.645	33.234	4.786
200	0.200	0.031	3.1	264	225.984	6.656	33.952	4.889
210	0.210	0.033	3.3	270	231.120	6.667	34.667	4.992
220	0.220	0.035	3.5	275	235.400	6.678	35.252	5.076
230	0.230	0.036	3.6	279	238.824	6.689	35.706	5.142
240	0.240	0.038	3.8	282	241.392	6.699	36.031	5.189
260	0.260	0.041	4.1	285	243.960	6.721	36.296	5.227
270	0.270	0.042	4.2	285	243.960	6.732	36.236	5.218
282	0.282	0.044	4.4	284	243.104	6.746	36.038	5.189

STRESS vs. STRAIN



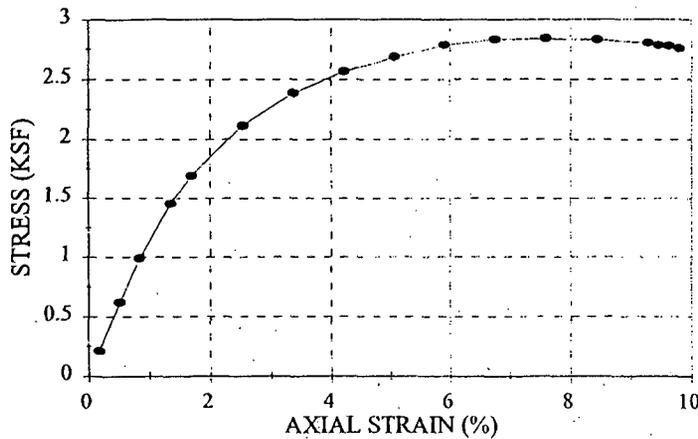
GEOTECH Engineering & Testing, Inc.

**Unconfined Compressive Strength of Cohesive Soil - ASTM D 2166
Proposed GTE Mobilnet Cell Tower - West Paducah, Kentucky**

DATE: 11/30/98	CUP NO.: 35
BORING NO.: B-4	CUP - WET SOIL: 91.90
SAMPLE DEPTH: 8' - 10'	CUP - DRY SOIL: 59.90
SAMPLE DESCRIPTION: Brown Silty Clay	CUP: 14.68
SPECIMAN DIAMETER (IN.): 2.885	DRY SOIL: 45.22
SPECIMAN AREA (SQ. IN.): 6.539	WATER: 32.00
SPECIMAN LENGTH (IN.): 5.922	WATER CONTENT (%): 70.77

STRAIN GAUGE	SPECIMAN DEFORMATION (IN.)	VERTICAL STRAIN	VERTICAL STRAIN (%)	PROVING RING DIVISIONS	LOAD (LB.)	CORRECTED AREA (SQ. IN.)	STRESS (PSI)	STRESS (KSF)
10	0.010	0.002	0.2	11	9.416	6.550	1.438	0.207
30	0.030	0.005	0.5	33	28.248	6.572	4.298	0.619
50	0.050	0.008	0.8	53	45.368	6.594	6.880	0.991
80	0.080	0.014	1.4	78	66.768	6.628	10.073	1.451
100	0.100	0.017	1.7	91	77.896	6.651	11.712	1.687
150	0.150	0.025	2.5	115	98.440	6.708	14.674	2.113
200	0.200	0.034	3.4	131	112.136	6.767	16.571	2.386
250	0.250	0.042	4.2	142	121.552	6.827	17.805	2.564
300	0.300	0.051	5.1	150	128.400	6.887	18.643	2.685
350	0.350	0.059	5.9	157	134.392	6.949	19.339	2.785
400	0.400	0.068	6.8	161	137.816	7.012	19.654	2.830
450	0.450	0.076	7.6	163	139.528	7.076	19.718	2.839
500	0.500	0.084	8.4	164	140.384	7.142	19.657	2.831
550	0.550	0.093	9.3	164	140.384	7.208	19.476	2.805
560	0.560	0.095	9.5	163	139.528	7.221	19.321	2.782
570	0.570	0.096	9.6	163	139.528	7.235	19.285	2.777
580	0.580	0.098	9.8	162	138.672	7.248	19.131	2.755

STRESS vs. STRAIN



D

STATE OF KENTUCKY
KENTUCKY GEOLOGICAL SURVEY
UNIVERSITY OF KENTUCKY

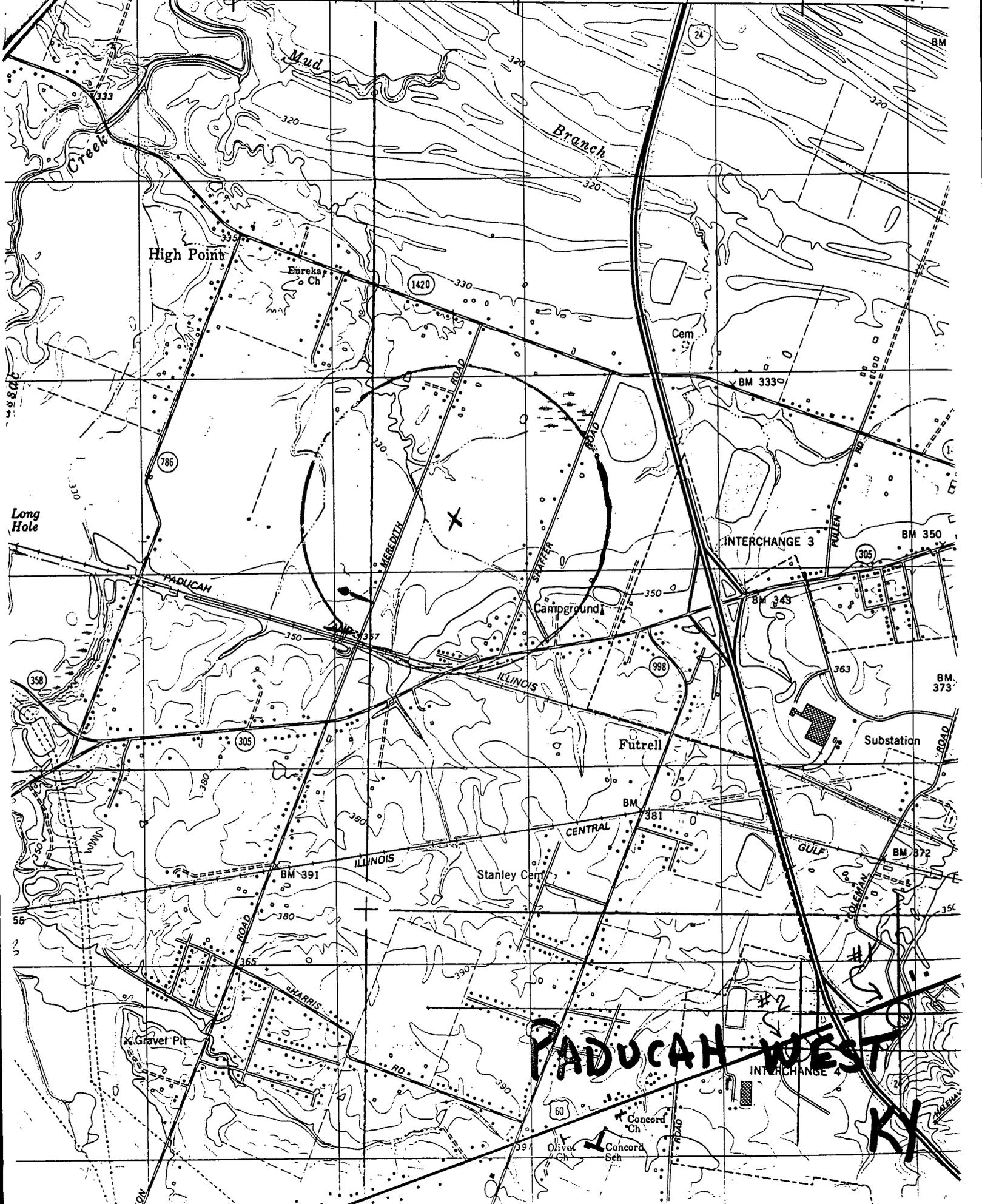
47°00' E

42°30'

3268 II NW
(METROPOLIS)

40 MI. TO INTERSTATE 57
2.5 MI. TO INTERCHANGE 37

51



3

Federal Aviation Administration
Southern Region, ASO-520
P.O. Box 20636
Atlanta, GA 30320

AERONAUTICAL STUDY
No: 98-ASO-7547-OE

ISSUED DATE: 01/21/99

LEE SICA-REGULATORY-A3REG
KENTUCKY RSA NO. 1 PARTNERSHIP
245 PERIMETER CENTER PARKWAY
ATLANTA, GA 30346

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has completed an aeronautical study under the provisions of 49 U.S.C., Section 44718 and, if applicable, Title 14 of the Code of Federal Regulations, part 77, concerning:

Description: NEW TOWER 880-894 MHZ
2.1, 6.0, 10.0, 18.0, 21.0 GHZ/ 500 WATTS
Location: PADUCAH KY
Latitude: 37-05-47.19 NAD 83
Longitude: 088-42-35.18
Heights: 228 feet above ground level (AGL)
570 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

-As a condition to this determination, the structure should be marked and/or lighted in accordance with FAA Advisory Circular 70/7460-1J, Obstruction Marking and Lighting, Chapters 4, 8 (M-Dual), & 13.

-It is required that the enclosed FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after construction reaches its greatest height (7460-2, Part II)

This determination expires on 07/21/00 unless:

- (a) extended, revised or terminated by the issuing office or
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FC within 6 months of the date of this determination. In such case the determination expires on the date prescribed by the FCC for completion of construction or on the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE POSTMARKED OR DELIVERED TO THIS OFFICE AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE.

-As a result of this structure being critical to flight safety, it is

required that the FAA be kept apprised as to the status of this project. Failure to respond to periodic FAA inquiries could invalidate this determination.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, frequency(ies) or use of greater power will void this determination. Any future construction or alteration, including increase in heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission if the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at 404-305-5583. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 98-ASO-7547-OE.


Mary E. Mc Burney
Specialist, Airspace Branch

(DNE)

7460-2 Attached

KENTUCKY TRANSPORTATION CABINET
OFFICE OF AERONAUTICS
421 ANN STREET
FRANKFORT, KENTUCKY 40622

**Application for
Permit to Construct
or
Alter a Structure**

—Instructions on Reverse Side of Form—

-DO NOT FILL IN-

AERONAUTICAL STUDY NO.

APPLICANT - NAME & ADDRESS

Kentucky RSA No. 1 Partnership
245 Perimeter Center Parkway
Atlanta, GA 30346

ATTENTION: Lee Sica

TELEPHONE NO.

(678) 339-4273

TYPE OF STRUCTURE

1. CHECK ONE

New Construction

Alteration

2. CHECK ONE

Permanent

Temporary

Length of time _____ months.

3. NATURE AND COMPLETE DESCRIPTION OF STRUCTURE

A new 285 ft. guyed tower with a 15 ft. lightning rod for a total height of 300 ft. AGL.

4. County in which construction will take place McCracken

LOCATION OF STRUCTURE -submit a map-

5. COORDINATES (To nearest second)

LATITUDE

LONGITUDE

37° 05' 47" 088° 42' 35"

6. NEAREST CITY OR TOWN & STATE
Paducah, KY

(a) DISTANCE TO 6.

Miles

(b) DIRECTION TO 6.

7. NAME OF NEAREST PUBLIC AIRPORT
WITHIN KY. BOUNDARIES

Barkley Regional

8. DISTANCE & DIRECTION TO NEAREST
POINT OF NEAREST RUNWAY

4.30/235.2°

9. HEIGHT & ELEVATION (Complete A,B & C to nearest foot)

10. WORK SCHEDULE DATES

A. ELEVATION OF SITE ABOVE MEAN SEA LEVEL

342 ft.

A. WILL START

B. HEIGHT OF STRUCTURE INCLUDING APPURTENANCES &
LIGHTING (if any) ABOVE GROUND, OR WATER IF SO SITUATED

300 ft.

B. WILL COMPLETE

C. OVERALL HEIGHT ABOVE MEAN SEA LEVEL (A + B)

642 ft.

D. IF APPLICATION IS FOR CONSTRUCTION/ALTERATION OF AN OVERHEAD TRANSMISSION LINE OR STATIC WIRE WITH SPAN LENGTH
1000 FEET OR MORE. See Appendix E

11. CHECK IF COMPLETED STRUCTURE WILL BE

If necessary, Applicant request dual
lighting in lieu of current marking

YES

NO

A. MARKED FOR THE PROTECTION OF AIR NAVIGATION

and lighting.

B. PAINTED AS SPECIFIED IN THE REGULATIONS OF THE COMMISSION RELATED TO OBSTRUCTION MARKING

C. LIGHTED AS SPECIFIED IN THE REGULATIONS OF THE COMMISSION RELATED TO OBSTRUCTION MARKING

12. HAS "NOTICE OF CONSTRUCTION OR ALTERATION" (Form 7460-1) BEEN FILED WITH FEDERAL AVIATION ADMINISTRATION
FOR AIRSPACE CLEARANCE? IF SO, WHEN FILED?

13. CERTIFICATION — I Herby Certify that all the above statements made by me are true, complete, and correct to the best
of my knowledge and belief.

By Lee Sica

Coordinator Regulatory Applications

12/2/98

Signature & Title of Individual Authorized to Make this Certification

PENALTY — See Reverse Side of this Form

COMMISSION ACTION

CHAIRMAN, KAZC (OR) ADMINISTRATOR, KAZC

APPROVED

DISAPPROVED

Date _____

01/29/1997

21:32

AURORA

9254040

G

McBRAYER, MCGINNIS, LESLIE & KIRKLAND PLLC

163 WEST SHORT STREET

SUITE 300

LEXINGTON, KENTUCKY 40507-1361

606-231-8780

FACSIMILE 606-231-6518

REAL ESTATE FAX 606-255-9777

WWW.MMLK.COM

W. TERRY MCBRAYER
JOHN R. MCGINNIS
PHILLIP BRUCE LESLIE *
WILLIAM D. KIRKLAND
J. D. ATKINSON, JR.
JAMES G. AMATO
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* ALSO ADMITTED IN OHIO

** ALSO ADMITTED IN COLORADO

+ ALSO ADMITTED IN TEXAS & FLORIDA

++ ALSO ADMITTED IN WEST VIRGINIA

May 6, 1999

WATSON CLAY (1908-1985)
OSCAR SAMMONS (1908-1985)

MAIN & HARRISON STREETS
P. O. BOX 347
GREENUP, KENTUCKY 41144-0347
606-473-7303
FACSIMILE 606-473-9003

300 STATE NATIONAL
BANK BUILDING
P. O. BOX 1100
FRANKFORT, KENTUCKY 40602-1100
502-223-1200
FACSIMILE 502-227-7385

DIRECTOR OF GOVERNMENTAL RELATIONS
MIKE HELTON
STATE NATIONAL BANK BUILDING
305 ANN STREET
SUITE 308
FRANKFORT, KENTUCKY 40601-2847
502-875-1176
FACSIMILE 502-226-6234

Hon. Danny B. Orazine
McCracken County Judge Executive
Courthouse
301 S. 6th Street
Paducah, KY 42001

VIA CERTIFIED MAIL
RETURN RECEIPT REQUESTED

RE: **Public Notice - Public Service Commission of Kentucky,
Case No. 99-181 (The Paducah West Cell Facility)**

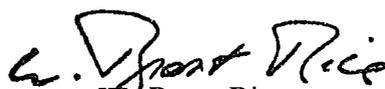
Dear Judge Orazine:

Kentucky RSA No. 1 Partnership has applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular radio telecommunication service. The facility will include a 211' guyed tower with attached antennas extending upwards for a total height of 228' and an equipment shelter to be located off Meredith Road, Paducah, McCracken County, Kentucky. A map showing the location of the proposed new cell facility is enclosed. This notice is being sent pursuant to 807 KAR 5:063(1).

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the Commission must be received by the Commission within 20 days of the date of this letter as shown above.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, Post Office Box 615, Frankfort, KY 40602. Please refer to Case No. 99-181 in your correspondence.

Sincerely,


W. Brent Rice
Counsel for Kentucky RSA
No. 1 Partnership

WBR/dkw

Exhibit H

Kentucky RSA No. 1 Partnership - Paducah West Facility

Adjoining Property Owners within a 500' Radius of the Proposed Facility

Duke Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

Meredith W. Alonzo
6125 Cairo Road
Paducah, KY 42001

Donald and Bettie Edwards
P.O. Box 9174
Paducah, KY 42001

Duje Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

McBRAYER, MCGINNIS, LESLIE & KIRKLAND PLLC

163 WEST SHORT STREET

SUITE 300

LEXINGTON, KENTUCKY 40507-1361

606-231-8780

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FRANKFORT, KENTUCKY 40602-1100
502-223-1200
FACSIMILE 502-227-7385

DIRECTOR OF GOVERNMENTAL RELATIONS
MIKE HELTON
STATE NATIONAL BANK BUILDING
305 ANN STREET
SUITE 308
FRANKFORT, KENTUCKY 40601-2847
502-875-1176
FACSIMILE 502-226-6234

May 6, 1999

VIA CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Duke Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

RE: **Public Notice - Public Service Commission of Kentucky,
Case No. 99-181 (The Paducah West Cell Facility)**

Dear Mr. Vannerson:

Kentucky RSA No. 1 Partnership has applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular radio telecommunication service. The facility will include a 211' guyed tower with attached antennas extending upwards for a total height of 228' and an equipment shelter to be located off Meredith Road, Paducah, McCracken County, Kentucky. A map showing the location of the proposed new cell facility is enclosed. This notice is being sent to you because you own property or reside within a 500' radius of the proposed tower.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the Commission must be received by the Commission within 20 days of the date of this letter as shown above.

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Sincerely,


W. Brent Rice
Counsel for Kentucky RSA
No. 1 Partnership

WBR/dkw

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606-231-8780

FACSIMILE 606-231-6518

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DIRECTOR OF GOVERNMENTAL RELATIONS
MIKE HELTON
STATE NATIONAL BANK BUILDING
305 ANN STREET
SUITE 308
FRANKFORT, KENTUCKY 40601-2847
502-875-1176
FACSIMILE 502-226-6234

May 6, 1999

VIA CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Meredith W. Alonzo
6125 Cairo Road
Paducah, KY 42001

RE: **Public Notice - Public Service Commission of Kentucky,
Case No. 99-181 (The Paducah West Cell Facility)**

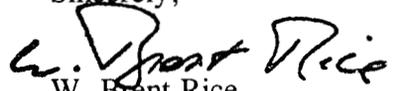
Dear Ms. Alonzo:

Kentucky RSA No. 1 Partnership has applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular radio telecommunication service. The facility will include a 211' guyed tower with attached antennas extending upwards for a total height of 228' and an equipment shelter to be located off Meredith Road, Paducah, McCracken County, Kentucky. A map showing the location of the proposed new cell facility is enclosed. This notice is being sent to you because you own property or reside within a 500' radius of the proposed tower.

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Sincerely,


W. Brent Rice
Counsel for Kentucky RSA
No. 1 Partnership

WBR/dkw

McBRAYER, MCGINNIS, LESLIE & KIRKLAND PLLC

163 WEST SHORT STREET

SUITE 300

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606-231-8780

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REAL ESTATE FAX 606-255-9777

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May 6, 1999

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DIRECTOR OF GOVERNMENTAL RELATIONS
MIKE HELTON
STATE NATIONAL BANK BUILDING
305 ANN STREET
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FRANKFORT, KENTUCKY 40601-2847
502-875-1176
FACSIMILE 502-226-6234

Donald and Bettie Edwards
P.O. Box 9174
Paducah, KY 42001

VIA CERTIFIED MAIL
RETURN RECEIPT REQUESTED

RE: **Public Notice - Public Service Commission of Kentucky,
Case No. 99-181 (The Paducah West Cell Facility)**

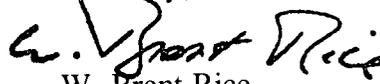
Dear Mr. and Mrs. Edwards:

Kentucky RSA No. 1 Partnership has applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular radio telecommunication service. The facility will include a 211' guyed tower with attached antennas extending upwards for a total height of 228' and an equipment shelter to be located off Meredith Road, Paducah, McCracken County, Kentucky. A map showing the location of the proposed new cell facility is enclosed. This notice is being sent to you because you own property or reside within a 500' radius of the proposed tower.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the Commission must be received by the Commission within 20 days of the date of this letter as shown above.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, Post Office Box 615, Frankfort, KY 40602. Please refer to Case No. 99-181 in your correspondence.

Sincerely,


W. Brent Rice
Counsel for Kentucky RSA
No. 1 Partnership

WBR/dkw

McBRAYER, MCGINNIS, LESLIE & KIRKLAND PLLC

163 WEST SHORT STREET

SUITE 300

LEXINGTON, KENTUCKY 40507-1361

606-231-8780

FACSIMILE 606-231-6518

REAL ESTATE FAX 606-255-9777

WWW.MMLK.COM

WATSON CLAY (1908-1985)
OSCAR SAMMONS (1908-1985)

MAIN & HARRISON STREETS
P. O. BOX 347
GREENUP, KENTUCKY 41144-0347
606-473-7303
FACSIMILE 606-473-9003

300 STATE NATIONAL
BANK BUILDING
P. O. BOX 1100
FRANKFORT, KENTUCKY 40602-1100
502-223-1200
FACSIMILE 502-227-7385

DIRECTOR OF GOVERNMENTAL RELATIONS
MIKE HELTON
STATE NATIONAL BANK BUILDING
305 ANN STREET
SUITE 308
FRANKFORT, KENTUCKY 40601-2847
502-875-1176
FACSIMILE 502-226-6234

W. TERRY McBRAYER
JOHN R. MCGINNIS
PHILLIP BRUCE LESLIE *
WILLIAM D. KIRKLAND
J. D. ATKINSON, JR.
JAMES G. AMATO
GEORGE D. GREGORY **
BRENT L. CALDWELL
W. BRENT RICE
JAMES H. FRAZIER, III +
STEPHEN C. CAWOOD
CHRISTOPHER M. HILL
LISA ENGLISH HINKLE
WILLIAM R. PALMER, JR.
BRUCE W. MACDONALD *
LUKE BENTLEY III
STEPHEN G. AMATO
MARY ESTES HAGGIN
R. STEPHEN MCGINNIS **
JON A. WOODALL
MARIA S. BUCKLES
MARGARET M. YOUNG
JULIE A. COBBLE
MELINDA G. WILSON
MARY ELIZABETH CUTTER
LINDA J. WEST
JARON P. BLANDFORD

* ALSO ADMITTED IN OHIO
** ALSO ADMITTED IN COLORADO
+ ALSO ADMITTED IN TEXAS & FLORIDA
** ALSO ADMITTED IN WEST VIRGINIA

May 6, 1999

VIA CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Duje Vannerson, Jr.
6321 Cairo Road
Paducah, KY 42001

RE: **Public Notice - Public Service Commission of Kentucky,
Case No. 99-181 (The Paducah West Cell Facility)**

Dear Mr. Vannerson:

Kentucky RSA No. 1 Partnership has applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular radio telecommunication service. The facility will include a 211' guyed tower with attached antennas extending upwards for a total height of 228' and an equipment shelter to be located off Meredith Road, Paducah, McCracken County, Kentucky. A map showing the location of the proposed new cell facility is enclosed. This notice is being sent to you because you own property or reside within a 500' radius of the proposed tower.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the Commission must be received by the Commission within 20 days of the date of this letter as shown above.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, Post Office Box 615, Frankfort, KY 40602. Please refer to Case No. 99-181 in your correspondence.

Sincerely,


W. Brent Rice
Counsel for Kentucky RSA
No. 1 Partnership

WBR/dkw

Site Name: Paducah West
Site Number: KY - 0325

OPTION TO LEASE AGREEMENT

STATE OF KENTUCKY

COUNTY OF MCCRACKEN

KNOW ALL MEN BY THESE PRESENTS THAT:

THIS OPTION TO LEASE AGREEMENT is made and entered into by and between KENTUCKY RSA NO. 1 PARTNERSHIP, whose address is 300 McLaws Circle, Suite 201, Williamsburg, Virginia 23185, hereinafter referred to as "Optionee" and L.D. (DUKE) VANNERSON, JR., having an address at 6321 Cairo Road, Paducah, Kentucky 42001, hereinafter referred to as "Optionor," whether one or more.

WITNESSETH:

WHEREAS, Optionor is the owner of fee simple title to certain real property located in the County of McCracken, State of Kentucky, as well as the easements, rights of way, and other interests relating thereto more fully described in Exhibit "A" attached hereto and incorporated herein by reference, and hereinafter referred to as "the Property," subject only to those encumbrances set forth in Exhibit "A."

WHEREAS, Optionee desires to acquire the right to lease the Property, pursuant to the terms and conditions set forth herein;

NOW, THEREFORE, it is agreed as follows:

1. **Option to Lease.** Optionor hereby grants to Optionee the right to lease the Property pursuant to the terms and conditions herein contained. The Lease of the Property which shall be entered into by Optionor and Optionee in the event that Optionee exercises this Option to Lease shall be in form set forth on Exhibit "B" attached hereto and incorporated herein by reference. Optionor represents and warrants that it holds unencumbered fee simple title, except as qualified in Exhibit "A", to the Property, and such warranty is a material inducement to Optionee in its execution thereof. Optionor further represents and warrants that Optionor will not enter into any agreement that would adversely affect Optionee's rights granted hereby.

2. **Term of Option.** The Option to Lease granted hereby shall commence upon the date hereinabove written and shall continue for six (6) months.

3. **Consideration.** This Option to Lease is granted to Optionee for payment in the amount of Five Hundred and No/100 Dollars (\$500.00), of which Five Hundred and No/100 Dollars (\$500.00), of that amount is acknowledged by Optionor to have been received in cash upon execution hereof. The balance, if any of said consideration will be paid within thirty (30) days. All such amounts paid shall be applied toward rent due under the Lease if this Option is exercised.

4. **Renewal of Option to Lease.** This Option to Lease may be renewed by Optionee for a term equal in length to that set forth in Section 2 by payment to Optionor by Optionee, the amount of Five Hundred and No/100 Dollars (\$500.00), prior to the expiration date of the initial term set forth in Section 2 above.

5. **Retention of Consideration.** In the event that Optionee does not exercise this Option to Lease within the term of this Option or any renewal thereof, all amounts paid to Optionor as consideration for this Option shall be retained by Optionor, except and unless Optionee is unable to exercise the Option due to damage, destruction, or taking of the Property which renders Optionee's use impracticable or impossible.

Site Name: Paducah West
Site Number: KY - 0325

6. **Exercise of Option to Lease.** In the event that Optionee determines to exercise this Option to Lease, Optionee shall notify Optionor, during the option period or any renewals thereof, in writing, of this determination. Written notices by either party shall be addressed as follows:

To Optionor: L.D. (DUKE) VANNERSON, JR.
6321 Cairo Road
Paducah, KY 42001
Phone: (502) 443-8605

To Optionee: KENTUCKY RSA NO. 1 PARTNERSHIP
300 McLaws Circle, Suite 201
Williamsburg, VA 23185
Attn: Property Management
Phone: (757) 220-5979

7. **Zoning or Other Approvals.** Optionor hereby covenants that Optionor shall cooperate with Optionee in obtaining any zoning or other governmental approvals or authorizations necessary for Optionee's use of the Property as a part of its cellular radio system. Optionee shall reimburse Optionor for all expenses reasonably incurred by Optionor in any such cooperative efforts.

8. **Access and Tests.** The Optionor hereby grants to the Optionee and its agents, employees and assigns a license during the period of this Option to enter upon the Property to inspect the Property, cause boundary and topographical surveys to be prepared, and conduct such engineering investigations, including soil tests and any environmental assessments, as the Optionee may require. The Optionee shall pay for any damage caused to the Property as a result of these investigations.

9. **Optionee's Access; Audit.** Optionor hereby grants Optionee, and Optionee's agents, the right to enter upon the Property at any time prior to the expiration of this Option to make any and all inspections with respect to the condition or quality of the Property, including, without limitation, Optionee's causing a reputable environmental evaluation and/or consulting firm (the "Consultant") selected by Optionee to conduct an environmental inspection and audit of the property (the "Audit"), and to perform a survey of the Property, all at Optionee's sole cost and expense. Optionor shall cooperate with and assist the Consultant in designing the parameters of the Audit and in completing same as soon as practicable.

If the Audit identifies the presence of any condition upon the Property, or upon any adjoining or nearby properties, which, in Optionee's opinion, presents an unacceptable risk of liability or loss to Optionee or should otherwise be remedied, Optionee shall have the right to rescind its exercise of this Option and to terminate the resulting agreement by giving Optionor notice of such termination within thirty (30) days after its receipt of a copy of the Audit and the estimate of the Consultant as to the remedial costs. Thereafter, neither of the parties hereto shall be liable to the other hereunder and this Agreement shall be null and void.

10. **Recording of Memorandum of Option.** Optionee may record a memorandum of this Option with the McCracken County Recorder. If necessary to enable a memorandum of this Option to be recorded, Optionor shall deliver to Optionee a legal description more particularly describing the Property, if none is attached hereto, and Optionee may attach such description to the memorandum as Exhibit "A."

11. **Entire Agreement.** This instrument contains the entire Agreement between the parties hereto relating to the Property, and supersedes all prior agreements whether written or oral. This Option to Lease may only be modified, and any waiver of the terms hereof shall only be effective, if contained in a written instrument executed by both parties with the same formalities of this Option.

Site Name: Paducah West
Site Number: KY - 0325

IN WITNESS WHEREOF, the parties hereto have executed this Option to Lease Agreement on this 6 day of November 1998

OPTIONOR:

L.D. Duke Vannerson Jr
L.D. (DUKE) VANNEPERSON, JR
402-54-7227
S.S.#

OPTIONEE:

KENTUCKY RSA NO. 1 PARTNERSHIP

By: GTE Wireless of the South Incorporated,
General Partner

By: [Signature]
Daniel S. Mead

Its: President - Midwest Area

Site Name: Paducah West
Site Number: KY - 0325

ACKNOWLEDGMENT

STATE OF KENTUCKY)
) SS.
COUNTY OF MCCRACKEN)

BEFORE ME, the undersigned authority, on this day personally appeared L.D. (DUKE) VANNERSON, JR. known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the uses, purposes and considerations therein expressed.

Given under my hand and seal of office this 6th day of November, 1998.

(SEAL)

Caudia S. Meeks
Notary Public
(printed) CAUDIAS MEEKS

My Commission Expires: 5/21/2000

Resident of MCCRACKEN County
State of Ky., Kentucky

ACKNOWLEDGMENT

STATE OF _____)
) SS.
COUNTY OF _____)

BEFORE ME, the undersigned authority, on this day personally appeared Daniel S. Mead, President - Midwest Area of GTE Wireless of the South Incorporated, General Partner of Kentucky RSA No. 1 Partnership, and acknowledged to me that he being duly authorized, signed the forgoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein stated and in the capacity therein stated.

Given under my hand and seal of office this ___ day of _____, 19__.

(SEAL)

Notary Public
(printed) _____

My Commission Expires: _____

Resident of _____ County

Site Name: Paducah West
Site Number: KY - 0325

ACKNOWLEDGMENT

STATE OF KENTUCKY)
) SS.
COUNTY OF MCCRACKEN)

BEFORE ME, the undersigned authority, on this day personally appeared L.D. (DUKE) VANNERSON, JR. known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the uses, purposes and considerations therein expressed.

Given under my hand and seal of office this 6th day of NOV, 1998.

Claudia S Meeks
Notary Public
(printed) CLAUDIA S. MEEKS

(SEAL)

My Commission Expires: 5/21/2000

Resident of MCCRACKEN County
State of KY

ACKNOWLEDGMENT

STATE OF OHIO)
) SS.
COUNTY OF Cuyahoga)

BEFORE ME, the undersigned authority, on this day personally appeared Daniel S. Mead, President - Midwest Area of GTE Wireless of the South Incorporated, General Partner of Kentucky RSA No. 1 Partnership, and acknowledged to me that he being duly authorized, signed the forgoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein stated and in the capacity therein stated.

Given under my hand and seal of office this 24 day of November, 1998

Allen J Zullo
Notary Public
(printed) ALLEN J. ZULLO

(SEAL)

My Commission Expires: NOTARIAL PUBLIC

Resident of Cuyahoga County

Site Name: Paducah West
Site Number: KY - 0325

EXHIBIT A

A 100' x 100' lease area with easement descriptions for guy anchors, access, and utilities in a portion of Parcel 58, Map 75 in McCracken County, Kentucky. Site to be located north of railroad right-of-way and west of Meredith Road.

This description of the Property is Preliminary and subject to change upon completion of a Registered Survey. Optionee will provide, at Optionee's own expense, a surveyed legal description of the Property, which description will be attached hereto upon completion and approval of Optionor.

Site Name: Paducah West
Site Number: KY - 0325

EXHIBIT B

LAND LEASE AGREEMENT

STATE OF KENTUCKY

COUNTY OF MCCRACKEN

KNOWN ALL MEN BY THESE PRESENTS THAT:

This Land Lease Agreement, hereinafter referred to as "Lease," is made and entered into this ____ day of _____, 19__, between L.D. (DUKE) VANNERSON, JR., having an address at 6321 Cairo Road, Paducah, Kentucky 42001, hereinafter referred to as "Landlord," and KENTUCKY RSA NO. 1 PARTNERSHIP, with offices at 300 McLaws Circle, Suite 201, Williamsburg, Virginia 23185, hereinafter referred to as "Tenant".

WITNESSETH:

1. **Premises.** Landlord hereby leases to Tenant and Tenant hereby leases from Landlord, the following described lands, hereinafter referred to as "Leased Premises" situated in McCracken County, State of Kentucky, and more particularly described on Exhibit A attached hereto and made a part hereof.

2. **Use.** Landlord hereby grants permission to Tenant to occupy the Leased Premises to install, construct and operate a transmission tower, and radio and microwave communications equipment. Such equipment shall include, but not be limited to, an equipment building and emergency gasoline, butane, diesel or other fuel powered generator on the Leased Premises at a location suitable for Tenant's needs as determined by Tenant in its sole discretion. Said building will house additional equipment necessary for Tenant's communication operations and the emergency generator will be used at Tenant's option, but in most cases only in the event of a power failure. For the purposes of this Lease, the transmission tower and all of Tenant's equipment, building, generator, cables, wires, antennas and microwave dishes and accessories shall hereinafter collectively be referred to as "Communications Equipment" or "Communications Center."

3. **Term.** The primary term of this Lease shall be for five (5) years (the "Primary Term"), and shall commence on the day (the "Commencement Date") Tenant obtains the Local Permits (as hereinafter defined) and terminates on the day before the fifth (5th) anniversary of the Commencement Date subject to extensions as set forth in Section 5 below commencement date:

4. **Rent.** Tenant shall pay Landlord at the address designated in Section 9 of this Lease, as prepaid rent, an amount equal to _____ on the Commencement Date. Tenant shall pay as rental for the Leased Premises, during the Primary Term, at the address designated in Section 9, an amount equal to _____ annually, all in advance on the anniversary of the Commencement Date. In the event this Lease is extended beyond the Primary Term, as hereinafter provided, the yearly rental rate shall be adjusted in accordance with Section 5 below.

5. **Extensions.** Tenant shall have the option to extend this Lease by a series of five (5) additional terms ("Renewal Term") of five (5) years each so long as it has complied with the terms and conditions of the Lease and is not in default hereunder. Tenant shall give written notice to Landlord of its intention to extend during the last six (6) months of the Primary Term or any extension thereof, as the case may be, but in no event shall such notice be less than thirty (30) days prior to the expiration of any such term. If Tenant fails to notify Landlord of any renewal option that Tenant has the right to exercise hereunder prior to the required time, its option(s) to renew or extend shall nevertheless remain in full force and effect for a period of thirty (30) days after receipt of written notice from Landlord

Site Name: Paducah West

Site Number: KY - 0325

subsequent to the required time setting forth the expiration date of this Lease and advising Tenant that notice of renewal has not been received. In the event Tenant exercises options to extend this Lease, the lease amount shall be adjusted at the end of each five (5) years and each adjustment shall be based on the U.S. Department of Commerce "National Consumer Price Index" for all Urban Consumers, U.S. City Average ("CPI-U") indicator and shall be determined by dividing the CPI-U indicator from the most recent published indicator prior to the adjustment date, by the CPI-U indicator published five (5) years prior to the adjustment date, and multiply the resultant percentage (the "CPI-U Percentage") by the yearly lease rental amount of the most recent past lease period; provided, however, that the CPI-U Percentage shall not exceed ten percent. In no event, will the rent be less than the previous year.

6. **Holding Over.** If Tenant should remain in possession of the Leased Premises after the expiration of the Primary Term or any Renewal Term of this Lease, without the exercise of an option or the execution by Landlord and Tenant of a new lease, then Tenant shall be deemed to be occupying the Leased Premises as a tenant-at-sufferance on a month-to-month basis, subject to all the covenants and obligations of this Lease and at a monthly rental of one and one-fourth (1.25) the per month rental then provided hereby.

7. **Access.** Tenant is hereby given and granted the right-of-way of ingress and egress over and across the Leased Premises and other lands owned by Landlord as may be required for the purpose of erection, installation, maintenance and removal of such Communications Equipment and other necessary appurtenances and for access for telephone lines and power lines in connection with its cellular, radio and microwave Communications Center. Such right-of-way of ingress and egress shall be over existing roads, parking lots or over other roads that may be established by Tenant hereafter. An additional legally described access easement not less than 15 feet or more than 30 feet wide is defined and attached hereto as Exhibit "B". Any new access road constructed by Tenant to the Leased Premises shall be for Tenant's use. Tenant shall have the right but not the obligation to improve any access easement either by grading, graveling or paving it.

In the event it is not practicable, in Tenant's opinion or in the opinion of any applicable Utility Company, to use the access easement for the providing of utilities to the Leased Premises, Landlord agrees to grant to Tenant or to such Utility Companies as Tenant shall designate, an easement or easements for such utilities as Tenant deems necessary to serve the Leased Premises (whether singular or plural, the "Utility Easement"). Landlord shall advise Tenant of any Utility Company requesting an easement over and across the Leased Premises. The Utility Easement shall be for the installation and maintenance (whether by Tenant or by its designated Utility Company) under and/or above the ground from the point of connection with the Utility Company's distribution network to Tenant's building located on the Leased Premises. The Utility Easement shall be sufficiently wide for the providing of the applicable utilities to the Leased Premises, but in no event wider than 30 feet. Furthermore, it is understood that Tenant and the Utility Company providing services to Tenant shall have access to all areas of the Leased Premises and other lands or rights-of-way owned by Landlord as necessary for installation, maintenance and/or repair of such services.

8. **Utilities at Tenant's Cost.** Tenant shall be solely responsible for and promptly pay all charges for gas, electricity, telephone service, or any other utility used or consumed by Tenant on the Leased Premises. Tenant shall have an electrical current meter installed at the Leased Premises, and the cost of such meter and of installation, maintenance and repair thereof shall be paid for by the Tenant.

Site Name: Paducah West

Site Number: KY - 0325

9. **Notice.** Any notice shall be in writing and shall be delivered by hand or sent by United States Registered or Certified Mail, postage prepaid addressed as follows:

Landlord:

L.D. (DUKE) VANNEPERSON, JR.
6321 Cairo Road
Paducah, KY 42001
Phone: (502) 443-8605

Tenant:

KENTUCKY RSA NO. 1 PARTNERSHIP
300 McLaws Circle, Suite 201
Williamsburg, VA 23185
Attn: Property Management
Phone: (757) 220-5979

With a copy to:

GTE Wireless
245 Perimeter Center Parkway
Atlanta, GA 30346
Attn: Real Estate Counsel

Either party hereto may change its address to which said notice shall be delivered or mailed by giving notice of such change as provided above. Notice shall be deemed given when delivered (if delivered by hand) or when postmarked (if sent properly by mail).

10. **Liability and Indemnity.** Tenant agrees to indemnify and save the Landlord harmless from all claims (including costs and expenses of defending against such claims) arising or alleged to arise from any negligence or willful misconduct of Tenant or Tenant's agents, employees or contractors occurring during the Primary Term or any Renewal Term of this Lease in or about the Leased Premises. Landlord agrees to indemnify and save Tenant harmless from all claims (including costs and expenses of defending against such claims) arising or alleged to arise from any negligence or willful misconduct of Landlord or Landlord's agents, employees, contractors or other tenants of Landlord occurring during the Primary Term or any Renewal Term of this Lease.

11. **Environmental Laws.** Landlord hereby makes the following representations and warranties to Tenant, for the benefit of Tenant:

(a) Landlord has obtained all permits, licenses and other authorizations, if any, which are required under Environmental Laws, as defined below, and Landlord is in compliance in all material respects with all terms and conditions of the required permits, licenses and authorizations, and is also in compliance in all material respects with all other limitations, restrictions, conditions, standards, prohibitions, requirements, obligations, notifications, schedules and timetables contained in the Environmental Laws;

(b) Landlord is not aware of, and has not received notice of, the disposal or release or presence of Hazardous Substances, as defined below, on the Leased Premises, the Access Easement, the Utility Easement, or any property owned by Landlord that is adjoining or adjacent to the Leased Premises, the Access Easement, or the Utility Easement, or of any past, present or future events, conditions, circumstances, activities, practices, incidents, actions or plans which may interfere with or prevent compliance or continued compliance on the part of Landlord in any material respect with any Environmental Laws, or may give rise to any material common law or legal liability, or otherwise form the basis of any material claim, action, demand, suit, lien, proceeding, hearing, study or investigation, based on or related to the manufacture, processing, distribution, use, treatment, storage, disposal, transport, or handling, or the emission, discharge, release or threatened release into the environment, of any Hazardous Substance;

Site Name: Paducah West

Site Number: KY - 0325

(c) The Leased Premises, the Access Easement, the Utility Easement and all property owned by Landlord that is adjoining or adjacent to the Leased Premises, the Access Easement or the Utility Easement are free from Hazardous Substances; and

(d) There is not pending, to the best of Landlord's knowledge, threatened against Landlord, and Landlord knows of no facts or circumstances that might give rise to, any civil, criminal or administrative action, suit, demand, claim, hearing, notice or demand letter, notice of violation, environmental lien, investigation, or proceeding relating in any way to Environmental Laws.

As used herein the following terms shall have the following meanings:

"Environmental Laws" shall mean all federal, state, and local laws relating to pollution or protection of the environment, including, without any limitation, the Comprehensive Environmental Response Compensation and Liability Act of 1980 ("CERCLA"), as amended, 42 U.S.C. § 9601 et seq., the Resource Conservation and Recovery Act of 1976 ("RCRA"), 42 U.S.C. § 6901 et seq., and laws relating to emissions, discharges, releases or threatened releases of any Hazardous Substance into the environment (including without limitation ambient air, surface water, ground water or land), or otherwise relating to the generation, manufacture, processing, distribution, use, treatment, storage, disposal, transport, or handling of Hazardous Substances and any and all regulations, codes, standards, plans, orders, decrees, judgments, injunctions, notices or demand letters issued, entered, promulgated or approved thereunder.

"Hazardous Substances" shall mean any pollutant, contaminant, hazardous, toxic or dangerous waste, substance or material, or any other substance or material regulated or controlled pursuant to any Environmental Law, including, without limiting the generality of the foregoing, asbestos, PCBs, petroleum products (including crude oil, natural gas, natural gas liquids, liquefied natural gas or synthetic gas) or any other substance defined as a "hazardous substance," "extremely hazardous waste," "restricted hazardous waste," "hazardous material," "hazardous chemical," "hazardous waste," "regulated substance," "toxic chemical," "toxic substance," or other similar term in any Environmental Law.

If during the Initial Term or any Extended Term it is determined that the Leased Premises, the Access Easement, the Utility Easement or Landlord's Property in which the Leased Premises, the Access Easement or the Utility Easement form a part is contaminated with Hazardous Substances, Tenant shall have the right, in addition to other rights and remedies, to terminate this Lease upon thirty (30) days written notice to Landlord.

12. Termination. In addition to other rights of termination Tenant may have under this Lease, Tenant shall have the right to terminate this Lease at any time upon any of the following events:

- (a) Upon providing Landlord six (6) months prior written notice.
- (b) If the approval of any agency, board, court, or other governmental authority necessary for the construction and/or operation of the Communications Equipment cannot be obtained, or is revoked or if Tenant in its sole discretion determines the cost of obtaining such approval is prohibitive.
- (c) If Tenant determines that the property is not appropriate for locating its Communications Equipment for technological reasons, including, but not limited to, signal interference.
- (d) If the Leased Premises is damaged or destroyed to the extent, in Tenant's sole discretion, it is not practicable for Tenant to use or rebuild.

Site Name: Paducah West

Site Number: KY - 0325

Tenant will give Landlord thirty (30) days prior written notice of termination of this Lease under the terms of subparagraphs (b) and (c) of this Section 12. Upon termination, neither party will owe any further obligation under the terms of this Lease except for Tenant's responsibility of removing all of its Communications Equipment from the Leased Premises and restoring the areas occupied by Tenant to as near as practicable, to its original condition, save and except normal wear and tear, damage due to casualty and acts beyond Tenant's control.

13. Defaults and Remedies. Notwithstanding anything in this Lease to the contrary, Tenant shall not be in default under this Lease until thirty (30) days after receipt of written notice thereof from Landlord, provided, however, that if any such default cannot reasonably be cured within thirty (30) days, Tenant shall not be deemed to be in default under the Lease if Tenant commences to cure such default within said thirty (30) day period and thereafter diligently pursues such cure to completion.

In the event of Tenant's default as provided above, Landlord may, at its option, terminate this Lease without affecting its right to sue for all past due rentals, and any other damages to which the Landlord may be entitled. Should Landlord be entitled to collect rentals or damages and be forced to do so through its attorney, or by other legal procedures, Landlord shall, upon receipt of a favorable ruling, be entitled to its reasonable costs and attorney fees thereby incurred upon said collection. Landlord shall be obligated to mitigate its damages notwithstanding its rights and remedies hereunder and/or at law.

If Landlord defaults in the observance or performance of any material term or covenant in this Lease, and does not cure said default within thirty (30) days after receipt of written notice from Tenant, or within twenty-four (24) hours after a reasonable attempt (under the circumstances) by Tenant to contact Landlord if the default relates to a bona fide emergency, Tenant shall have the right (in addition to, and without limitation of, such other rights as Tenant may have at law or in equity), but shall not be obligated to, remedy such default. All sums expended or obligations incurred by Tenant in connection therewith shall be paid by Landlord to Tenant upon demand, and if Landlord fails to reimburse Tenant promptly, Tenant shall have the right, in addition to any other right or remedy that Tenant may have under this Lease, at law or in equity, to set-off or deduct such amount from subsequent installments of rent and/or other amounts from which time to time become due to Landlord.

14. Taxes. Tenant shall pay annually an amount equal to any increase in real estate taxes that may be attributable to any improvement to the Leased Premises made by the Tenant which increases the assessed valuation of the Leased Premises. In doing so, if such tax is paid by Landlord, Tenant shall reimburse Landlord for the amount of any such tax payment within sixty (60) days of receipt of sufficient documentation indicating the amount paid and the calculation of Tenant's prorata share thereof based upon the amount of the assessed valuation of the improvements to the Leased Premises made by Tenant. Landlord shall take all reasonable measures to minimize real estate taxes. Tenant shall not be responsible for any interest, penalty or late charges caused by Landlord's failure to pay real estate taxes in a timely manner. Upon written request by Tenant, Landlord shall furnish evidence of payment of all taxes. Tenant may, in connection with providing protection against the filing of tax liens against the Leased Premises, as required by applicable law, contest in good faith the legality or validity of any increase in taxes attributable to Tenant's improvements, and Landlord shall assist Tenant if Tenant elects to contest such tax increase. In the event the taxes are decreased as a result of Tenant's contest, Tenant shall receive a full benefit of such reduction in taxes either by refund from the taxing authority or by Landlord, if Tenant has previously reimbursed Landlord for the amount of such tax.

15. Insurance. Tenant shall, at its expense, maintain during the Initial Term and any Extended Term(s), comprehensive general liability and property liability insurance with liability limits of not less than One Million Dollars (\$1,000,000.00) for injury to or death of one or more persons in any one occurrence, and Five Hundred Thousand Dollars (\$500,000.00) for damage to or destruction of property in any one occurrence. Landlord shall be named as an additional insured, as its interest may appear, and the policies shall contain cross liability endorsements. Tenant may carry said insurance under a blanket policy. Insurance required hereunder

Site Name: Paducah West

Site Number: KY - 0325

shall be maintained by insurance companies rated A or better by "Best's Insurance Guide." Tenant shall deliver to Landlord, upon request, certificates evidencing the existence and amounts of such insurance. No policy shall be cancelable or subject to reduction of coverage except after ten (10) days prior written notice to Landlord.

Tenant shall have the right to fulfill its insurance obligation under this paragraph pursuant to self-insurance, provided that Tenant shall have satisfied all requirements of any applicable law, regulation or direction relating to self insurance. If Tenant elects self insurance, Tenant shall provide Landlord with a letter of self insurance at any time within thirty (30) days after Landlord's request therefore.

16. **Tests.** Tenant is hereby given the right to survey, soil test, radio coverage test, and to conduct any other investigations needed to determine if the surface and location of the Leased Premises is suitable for construction of a cellular radio and microwave Communications Center prior to commencement and throughout the term of this Lease and the terms of Section 10 shall apply.

17. **Preferential Right To Purchase.** NA

18. **Fixtures.** Landlord covenants and agrees that no part of the improvements constructed, erected or placed by Tenant on the Leased Premises or other real property owned by Landlord shall be or become, or be considered as being, affixed to or a part of Landlord's real property and any and all provisions and principles of law to the contrary notwithstanding, it being the specific intention of Landlord to covenant and agree that all improvements of every kind and nature constructed, erected or placed by Tenant on the Leased Premises or other real property owned by Landlord shall be and remain the property of the Tenant which Tenant may replace or remove from the Leased Premises at any time.

19. **Assignment and Subletting.** Tenant may not assign, transfer, sublet or otherwise encumber all or any part of the Leased Premises without the prior consent of the Landlord, which consent shall not be unreasonably withheld, delayed or denied. Notwithstanding the foregoing, Tenant shall have the right to assign and sublet the Leased Premises without the prior consent of the Landlord to any entity which is licensed by the FCC to operate a wireless communications business; or which controls, is controlled by, or is under common control with Tenant; or to any entity resulting from the merger or consolidation with Tenant; or to any partnership in which Tenant, the general partner of Tenant, or any entity which controls, is controlled by, or is under common control with the Tenant as the general partner; or to any person or entity which acquires substantially all of Tenant's assets, provided that such assignee assumes in full all of Tenant's obligations under this Lease.

20. **Memorandum of Lease.** Following the execution of this Lease, Tenant, at its sole expense, shall have the right to file the Memorandum of Lease of record in the County where the Leased Premises is located.

21. **Other Conditions.**

(a) Landlord acknowledges that following the execution of this Lease, Tenant will be contacting the appropriate local governmental agencies for the purpose of obtaining all building permits and approvals, zoning changes and/or approvals, variances, use permits and other governmental permits and approvals necessary for the construction, operation and maintenance of the Communications Center and related antennas, cables, conduits, wires and electronic and other equipment on the Leased Premises ("Local Permits"). Landlord agrees to fully cooperate with Tenant in obtaining the Local Permits and, without limiting the generality of the foregoing, to execute any applications, maps, certificates or other documents that may be required in connection with the Local Permits.

(b) Whenever under the Lease the consent or approval of either party is required or a determination must be made by either party, no such consent or approval shall be unreasonably withheld or delayed, and all such determinations shall be made on a reasonable basis and in a reasonable manner.

Site Name: Paducah West

Site Number: KY - 0325

(c) Landlord covenants that the Tenant shall, upon paying the rent and observing the other covenants and conditions herein upon its part to be observed, peaceably and quietly hold and enjoy the Leased Premises during the Primary Term or any Renewal Term of this Lease or as it may be extended without hindrance, ejection, or molestation by the Landlord, any person or persons claiming by, through or under the Landlord or any other tenant of the Landlord.

(d) Landlord covenants and agrees that, at all times by, through or during the continuance of this Lease, Tenant shall have the right to mortgage or convey by deed of trust or other instrument adequate for the purpose of securing any bona fide indebtedness or evidence thereof, this Lease or the Tenant's right, title and interest in and to improvements hereinafter constructed, erected or placed on the Leased Premises by Tenant, provided always that no such mortgage, conveyance or encumbrance, nor any foreclosure thereof, nor any purchase thereunder, shall impair or abridge the right of the Landlord, as provided herein.

In the event that Tenant agrees that this Lease shall be subordinate to any mortgage or deed of trust that constitutes a lien on the Leased Premises, not later than thirty (30) days after the execution of this Lease, Landlord shall deliver to Tenant a nondisturbance agreement whereby any mortgagees or lienholders agree not to disturb Tenant's possession so long as Tenant is not in default of its obligations hereunder and so long as the period for remedying such default shall not have expired. Subsequent to the date of this Lease, Landlord shall execute no mortgage or other lien or encumbrance upon the Leased Premises without first obtaining a comparable nondisturbance agreement for such mortgagee or lienholder.

(e) During the continuance of this Lease, and in exercising the rights, powers, privileges and immunities provided hereunder, Tenant shall fence in only that portion of the Leased Premises as, in Tenant's sole determination, is reasonably needed for its improvements and for the proper and efficient operation of said Communications Equipment. In most cases Tenant will only fence reasonable areas around Tenant's building, transmission tower and each individual guy post (if a guyed tower is utilized). Landlord shall not prohibit Tenant's access to the Leased Premises or be entitled to use such portion so fenced, for any purposes. Landlord further agrees to indemnify and save Tenant harmless from all claims arising or alleged to arise from any act or omission of Landlord or Landlord's agents, employees or contractors or other tenants of Landlord within such portion of the Leased Premises not fenced in.

(f) In the event that any government or public body shall take all or such part of the Leased Premises thereby making it physically or financially infeasible for the Leased Premises to be used in the manner it was intended to be used by this Lease, Tenant shall have the right to terminate this Lease effective as of the date of the taking by the condemning party and the rental shall be prorated appropriately. However, if only a portion of the Leased Premises is taken, and Tenant does not elect to terminate this Lease under this provision, then rent payments provided under the Lease shall be abated proportionally as to the portion taken which is not then usable by Tenant and this Lease shall continue.

(g) During the Primary Term or any Renewal Term of this Lease, Landlord will not grant a similar lease to any other party if such grant would in any way, in Tenant's opinion, adversely affect or interfere with Tenant's use of its Communications Equipment. In the event of any interference, Landlord shall take all steps necessary to correct and eliminate same within a reasonable period of time. If Landlord is unable to eliminate the interference within a reasonable period of time, Landlord shall be obligated to remove subsequent tenants' antenna(s) from Landlord's property.

(h) The terms of this Lease remain contingent upon clearance by Landlord of all liens, encumbrances and exceptions to property title existing as of the date of Lease execution. Landlord will be advised in writing by Tenant at the conclusion of its title investigation of any liens, encumbrances and exceptions which cannot be disposed of to Tenant's satisfaction. Rental payments shall not commence on the Leased Premises until title exceptions are investigated and determined acceptable to Tenant in its sole discretion.

Site Name: Paducah West

Site Number: KY - 0325

22. Entire Agreement and Binding Effect. This Lease and any attached exhibits signed or initialed by the parties constitute the entire agreement between Landlord and Tenant; no prior written or contemporaneous oral promises or representations shall be binding. This Lease shall not be amended, or changed except by written instrument signed by both parties hereto. Paragraph captions herein are for convenience only, and neither limit nor amplify the provisions of this instrument. The provisions of this instrument shall be binding upon and inure to the benefit of the heirs, executors, administrators, successors and assigns of the parties.

Site Name: Paducah West
Site Number: KY - 0325

IN WITNESS WHEREOF, Landlord and Tenant have executed this Lease Agreement as of the date and year first above written.

Witnesses:

LANDLORD:

L.D. Duke Vannerson Jr.
L.D. (DUKE) VANNEPERSON, JR.
402-54-7227
S.S.#

TENANT:

KENTUCKY RSA NO. 1 PARTNERSHIP

By: GTE Wireless of the South Incorporated,
General Partner

By: [Signature]
Daniel S. Mead

Its: President - Midwest Area

Site Name: Paducah West
Site Number: KY - 0325

ACKNOWLEDGMENT

STATE OF KENTUCKY)
) SS.
COUNTY OF MCCRACKEN)

BEFORE ME, the undersigned authority, on this day personally appeared L.D. (DUKE) VANNERSON, JR. known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the uses, purposes and considerations therein expressed.

Given under my hand and seal of office this 10th day of NOV, 1998.

Claudia S Meeks
Notary Public
(printed) CLAUDIA S MECKS

(SEAL)

Resident of MCCRACKEN County State of Jansg, Ky

My Commission Expires 5/21/2000

ACKNOWLEDGMENT

STATE OF Ohio)
) SS.
COUNTY OF Cuyahoga)

BEFORE ME, the undersigned authority, on this day personally appeared Daniel S. Mead, President - Midwest Area of GTE Wireless of the South Incorporated, General Partner of Kentucky RSA No. 1 Partnership, and acknowledged to me that he being duly authorized, signed the forgoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein stated and in the capacity therein stated.

Given under my hand and seal of office this 24 day of NOVEMBER, 1998

Allen J Zullo
Notary Public
(printed) ALLEN J. ZULLO

(SEAL)

Resident of Cuyahoga County

My Commission Expires ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED DATE 08/20/2009 BY 60322 UCBAW/STP

Site Name: Paducah West
Site Number: KY - 0325

EXHIBIT A

Leased Premises:

This description of the Leased Premises is preliminary and subject to change upon completion of a Registered Survey. Tenant will provide, at Tenant's own expense, a surveyed legal description of the Leased Premises, which description will be attached hereto upon completion and approval of Landlord.

Site Name: Paducah West
Site Number: KY - 0325

EXHIBIT B

This description of the Access Easement and/or Utility Easement is preliminary and subject to change upon completion of a Registered Survey. Tenant will provide, at Tenant's own expense, a surveyed legal description of the Access Easement and/or Utility Easement, which description will be attached hereto upon completion and approval of Landlord.

NORTH SHOWN HEREON IS REFERENCED TO KY. STATE PLANE COORDINATE SYSTEM KY. SOUTH ZONE. GEODETIC CONTROL WAS ESTABLISHED USING TRIMBLE 4400 RECEIVERS EMPLOYING FAST STATIC METHODS. REFERENCE CONTROL KEVIL HB0391 ESTABLISHED BY GPS OBSERVATIONS (BY OTHERS) HORIZ. DATUM - NAD 83 (1994) VERT. DATUM - NAVD 88 HORIZ. ORDER - B VERT. ORDER - FOURTH CLASS 1 POSITION - 37°04'35.49878 N 088°52'04.394555" W HEIGHT - 139.493 (METERS) CONTOURS SHOWN HEREON ARE PLOTTED AT 1 FOOT INTERVALS.

SURVEY WAS CONDUCTED BY THE METHOD OF RANDOM TRAVERSE UNADJUSTED RATIO OF PRECISION 1/2,048,750 BEARINGS AND DISTANCES HAVE BEEN ADJUSTED FOR CLOSURE. FIELD WORK DONE 11/18/98.

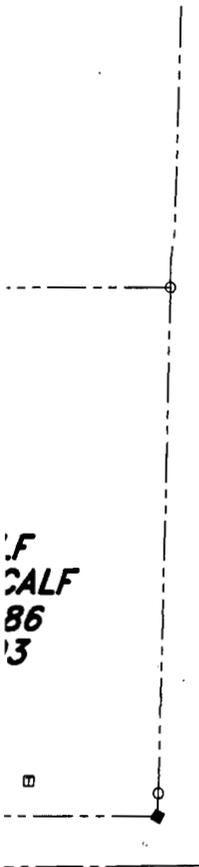
NO BUILDING STRUCTURES LIE WITHIN A 500 FOOT RADIUS OF TOWER LOCATION

PROPERTY OWNERS SHOWN HEREON LIE WITHIN A 500 FOOT RADIUS OF TOWER LOCATION

PROPERTY ADDRESSES SHOWN HEREON WERE SUPPLIED TO SURVEYOR BY McCRAKLEN COUNTY PROPERTY VALUATION OFFICE.

SUBJECT PROPERTY LIES IN ZONE "C" AREA OF MINIMAL FLOODING ACCORDING TO FLOOD INSURANCE RATE MAP. COMMUNITY PANEL NUMBER 210151 0020 B, EFF. DATE JUNE 04, 1980.

30' D
EASE
PER



F
CALF
86
13

SCI SURVEYORS, INC.
100 FOUNTAIN AVENUE, SUITE 215
PADUCAH, KENTUCKY 42001
502/444-9494

DRAWN BY: J.K.C.
CHCK BY: J.K.C.
JOB NO. 98-200
DATE : 01/12/99
SHEET

1 OF 1

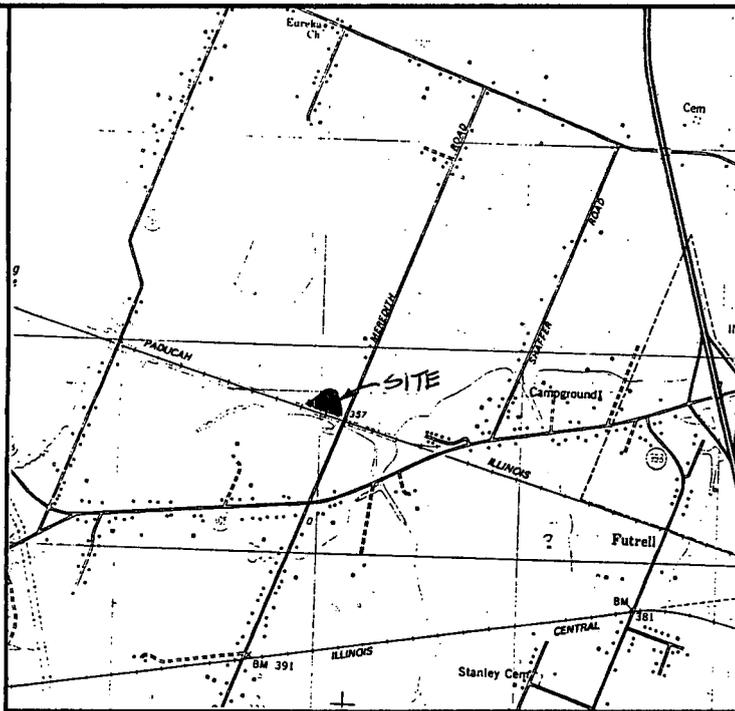
VEY OF

99-181
RECEIVED

MAY 06 1999
PUBLIC SERVICE
COMMISSION

, KY.

Y



VICINITY MAP
(SCALE 1"=2000')

NOTES

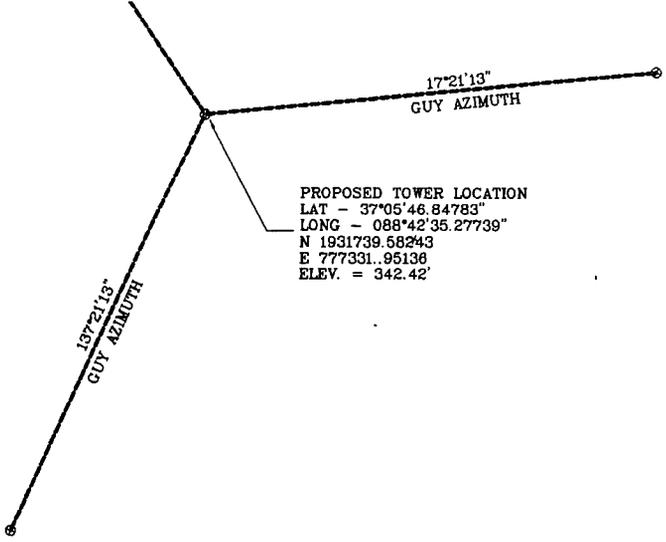
NORTH SHOWN HEREON IS REFERENCED TO KY. STATE PLANE COORDINATE SYSTEM KY. SOUTH ZONE.
 GEODETIC CONTROL WAS ESTABLISHED USING TRIMBLE 4400 RECEIVERS EMPLOYING FAST STATIC METHODS.
 REFERENCE CONTROL KEVIL HBO391 ESTABLISHED BY GPS OBSERVATIONS (BY OTHERS)
 HORIZ. DATUM - NAD 83 (1994)
 VERT. DATUM - NAVD 88
 HORIZ. ORDER - B
 VERT. ORDER - FOURTH CLASS 1
 POSITION - 37°04'35.49878 N
 088°52'04.394555" W
 HEIGHT - 139.493 (METERS)
 CONTOURS SHOWN HEREON ARE PLOTTED AT 1 FOOT INTERVALS.
 SURVEY WAS CONDUCTED BY THE METHOD OF RANDOM TRAVERSE UNADJUSTED RATIO OF PRECISION 1/2,048,750
 BEARINGS AND DISTANCES HAVE BEEN ADJUSTED FOR CLOSURE.
 FIELD WORK DONE 11/18/98.
 NO BUILDING STRUCTURES LIE WITHIN A 500 FOOT RADIUS OF TOWER LOCATION
 PROPERTY OWNERS SHOWN HEREON LIE WITHIN A 500 FOOT RADIUS OF TOWER LOCATION
 PROPERTY ADDRESSES SHOWN HEREON WERE SUPPLIED TO SURVEYOR BY McCRALEN COUNTY PROPERTY VALUATION OFFICE.
 SUBJECT PROPERTY LIES IN ZONE "c" AREA OF MINIMAL FLOODING ACCORDING TO FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 210151 0020 B, EFF. DATE JUNE 04, 1980.

30' D
EASE
PER

IC. SUITE 215
2001

NOTES

- 1.) NORTH SHOWN HEREON IS R TO KY. STATE PLANE COORDI KY. SOUTH ZONE.
- 2.) GEODETIC CONTROL WAS EST TRIMBLE 4400 RECEIVERS EN STATIC METHODS.
- 3.) REFERENCE CONTROL KEVL ESTABLISHED BY GPS OBSER HORIZ. DATUM - NAD 83 (1 VERT. DATUM - NAVD 88 HORIZ. ORDER - B VERT. ORDER - FOURTH CL POSITION - 37°04'35.4987 088°52'04.3945! HEIGHT - 139.493 (METERS)
- 4.) CONTOURS SHOWN HEREON AT 1 FOOT INTERVALS.
- 5.) SURVEY WAS CONDUCTED BY UNADJUSTED RATIO OF PREC BEARINGS AND DISTANCES H FIELD WORK DONE 11/18/9
- 6.) NO BUILDING STRUCTURES L RADIUS OF TOWER LOCATION
- 7.) PROPERTY OWNERS SHOWN I FOOT RADIUS OF TOWER LOC
- 8.) PROPERTY ADDRESSES SHOW SURVEYOR BY McCRACKEN C
- 9.) SUBJECT PROPERTY LIES IN FLOODING ACCORDING TO FL COMMUNITY PANEL NUMBER JUNE 04, 1980.



PROPOSED TOWER LOCATION
 LAT - 37°05'46.84783"
 LONG - 088°42'35.27739"
 N 1931739.58243
 E 777331.95136
 ELEV. = 342.42'

ESS/EGRESS
 T ESTABLISHED
 K, PG. 1483

(27)
DUKE VANNERSON, JR.
W.B. XX, PG. 645
6321 CAIRO ROAD
PADUCAH, KY. 42001

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY DEPICTED BY THIS PLAT WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION BY THE METHOD OF RANDOM TRAVERSE WITH SIDESHOTS. THE UNADJUSTED RATIO OF PRECISION 1/2,048,750 AND WAS ADJUSTED. THE SURVEY, AS SHOWN HEREON IS A CLASS "A" SURVEY AND THE ACCURACY PRECISION OF SAID SURVEY MEETS ALL THE SPECIFICATIONS OF THIS CLASS. THIS SURVEY EXCEEDS FAA 2C REQUIREMENTS.

DATE 01/12/99

SIGNED Jeffrey K. Clark
 SCL SURVEYORS, INC.
 JEFFREY K. CLARK, PLS. #3117
 100 FOUNTAIN AVE. SUITE 215
 PADUCAH, KY. 42001

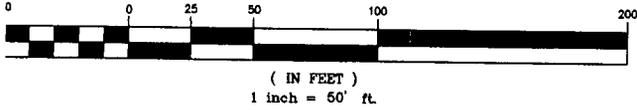


(27A)
JOE METCALF
KATHERINE METCALF
D.B. 666, PG. 86
P.B. H, PG. 693

660.34'

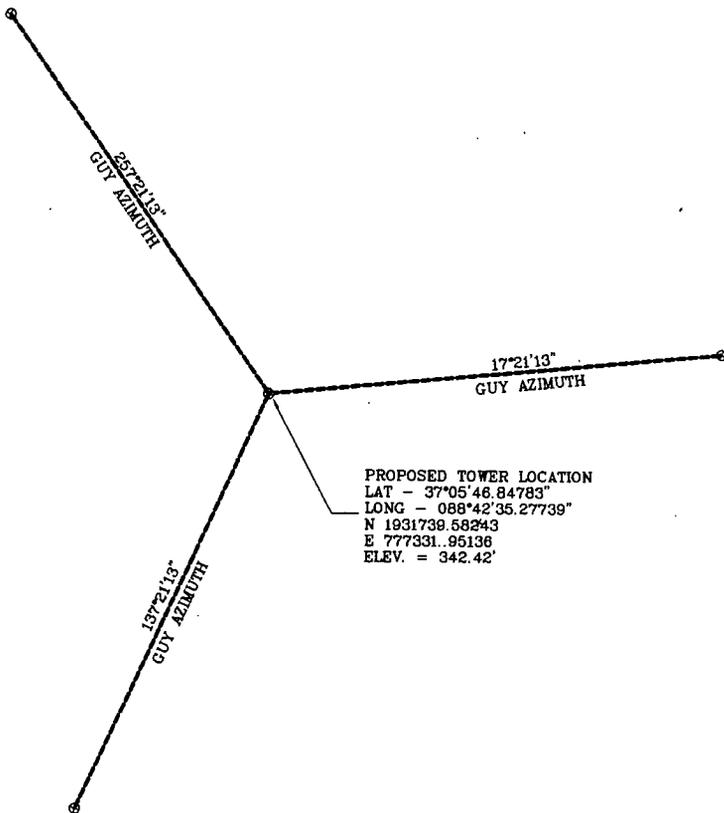
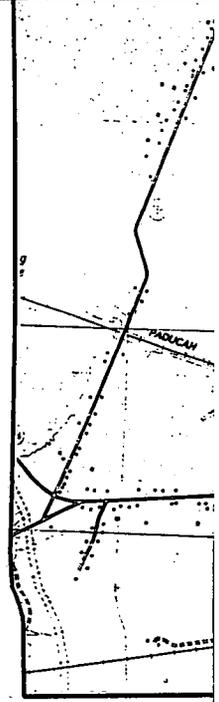
BOUNDARY, GEODETIC & TOPOGRAPHIC SURVEY OF
SITE NO: KY. - 0325
GTE MOBILNET WEST PADUCAH, KY.
MEREDITH ROAD
WEST PADUCAH, McCRACKEN COUNTY, KENTUCKY

GRAPHIC SCALE



LEGEND

- ⊙ — OHE — POWER POLE W/OVERHEAD ELERIC
- — — — — EDGE OF GRAVEL
- — — — — CONTOURS
- — — — — PROPERTY LINE
- — — — — BREAKLINE



NOTES

- 1.) NORTH SHOWN HEREON IS REF TO KY. STATE PLANE COORDIN KY. SOUTH ZONE.
- 2.) GEODETIC CONTROL WAS ESTABLISHED BY TRIMBLE 4400 RECEIVERS USING STATIC METHODS.
- 3.) REFERENCE CONTROL KEVL 1 ESTABLISHED BY GPS OBSERVATION. HORIZ. DATUM - NAD 83 (1983) VERT. DATUM - NAVD 88 HORIZ. ORDER - B VERT. ORDER - FOURTH CLASS POSITION - 37°04'35.49878 N 088°52'04.39455 W HEIGHT - 139.493 (METERS)
- 4.) CONTOURS SHOWN HEREON ARE AT 1 FOOT INTERVALS.
- 5.) SURVEY WAS CONDUCTED BY UNADJUSTED RATIO OF PRECISION BEARINGS AND DISTANCES FROM FIELD WORK DONE 11/18/98.
- 6.) NO BUILDING STRUCTURES WITHIN 100 FOOT RADIUS OF TOWER LOCATION.
- 7.) PROPERTY OWNERS SHOWN WITHIN 100 FOOT RADIUS OF TOWER LOCATION.
- 8.) PROPERTY ADDRESSES SHOWN BY SURVEYOR BY McCRACKEN COUNTY.
- 9.) SUBJECT PROPERTY LIES IN FLOODING ZONE ACCORDING TO FLOODING MAP COMMUNITY PANEL NUMBER 2 JUNE 04, 1980.

ISS/EGRESS
ESTABLISHED
K, PG. 1483

(27)
DUKE VANNERSON, JR.
W.B. XX, PG. 645
6321 CAIRO ROAD
PADUCAH, KY. 42001

SURVEYOR'S CERTIFICATE

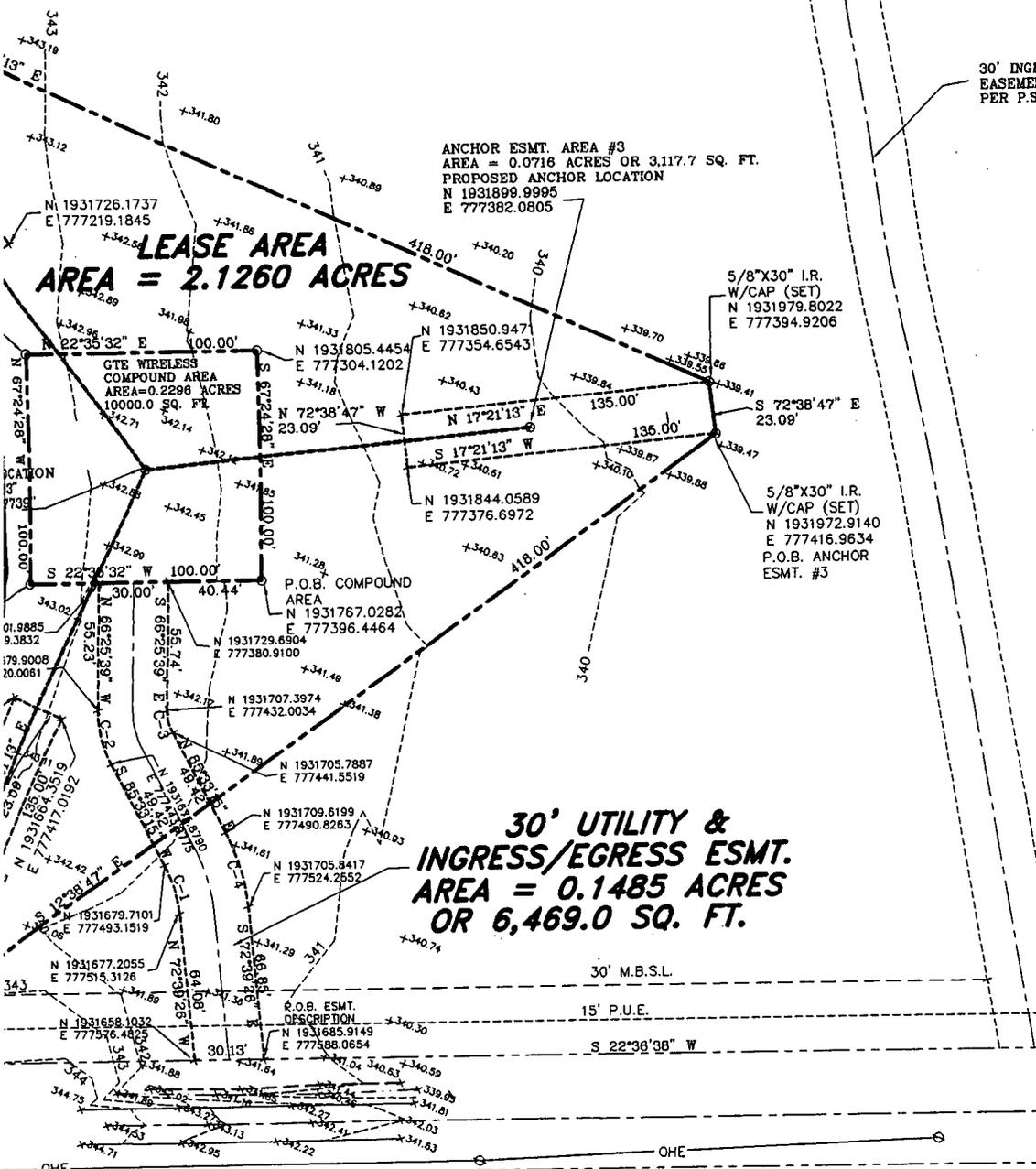
I HEREBY CERTIFY THAT THE SURVEY DEPICTED BY THIS PLAT WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION BY THE METHOD OF RANDOM TRAVERSE WITH SIDESHOTS. THE UNADJUSTED RATIO OF PRECISION 1/2048780 AND WAS ADJUSTED BY THE SURVEY



CURVE TABLE

NAME	DELTA	RADIUS	LENGTH	TANGENT	CH. BRG.	DISTANCE
C-1	21°47'19"	59.00'	22.45'	11.36'	N 83°33'06" W	22.30'
C-2	28°01'06"	50.00'	24.45'	12.48'	N 80°26'12" W	24.21'
C-3	28°01'06"	20.00'	9.78'	4.99'	S 80°26'12" E	9.68'
C-4	21°47'19"	89.00'	33.84'	17.13'	S 83°33'06" E	33.64'

I.R.
SET)
36.6178
7.4596



30' INGRESS/EGRESS
EASEMENT ESTABLISHED
PER P.S. K, PG. 1483

(27,
DUKE VANNE
W.B. XX, I
6321 CAIR
PADUCAH, K

SURVEYOR

I HEREBY CERTIFY THAT
THIS SURVEY WAS MADE BY ME OR UNDER MY
SUPERVISION AND IN ACCORDANCE WITH THE
METHOD OF RANDOM TRAVERSE OF PRECISION 1/2,
AS SHOWN HEREON IS A
PRECISION OF SAID SURVEY
CLASS. THIS SURVEY EXCEPT
WHERE SHOWN OTHERWISE IS
TO BE CONSIDERED AS SUCH.

DATE 01/12/99

SIGNED Jeffrey K. Clark
SCS SURVEYORS, I
JEFFREY K. CLARK
100 FOUNTAIN AV
PADUCAH, KY. 4

30' UTILITY &
INGRESS/EGRESS ESMT.
AREA = 0.1485 ACRES
OR 6,469.0 SQ. FT.

MEREDITH ROAD (50' R/W)

(1)
MEREDITH W. ALONZO
6125 CAIRO ROAD
PADUCAH, KY. 42001

GRAPHIC



(IN FT
1 inch =

(27)
DUKE VANNERSON, JR.
W.B. XX, PG. 645
P.B. K, PG. 1483
6321 CAIRO ROAD
PADUCAH, KY. 42001

SON, JR.
645
ROAD
42001

28721.15'
GUY ANCHOR

13721.11'
GUY

CURVE TABLE

NAME	DELTA	RADIUS	LENGTH	TANGENT	CH. BRG.	DISTANCE
C-1	21°47'19"	59.00'	22.45'	11.36'	N 83°33'06" W	22.30'
C-2	28°01'06"	50.00'	24.45'	12.48'	N 80°26'12" W	24.21'
C-3	28°01'06"	20.00'	9.78'	4.99'	S 80°26'12" E	9.68'
C-4	21°47'19"	89.00'	33.84'	17.13'	S 83°33'06" E	33.64'

1/8" I.R.
(SET)
96.6178
17.4596

30' INGRESS/EGRESS
EASEMENT ESTABLISHED
PER P.S. K, PG. 1483

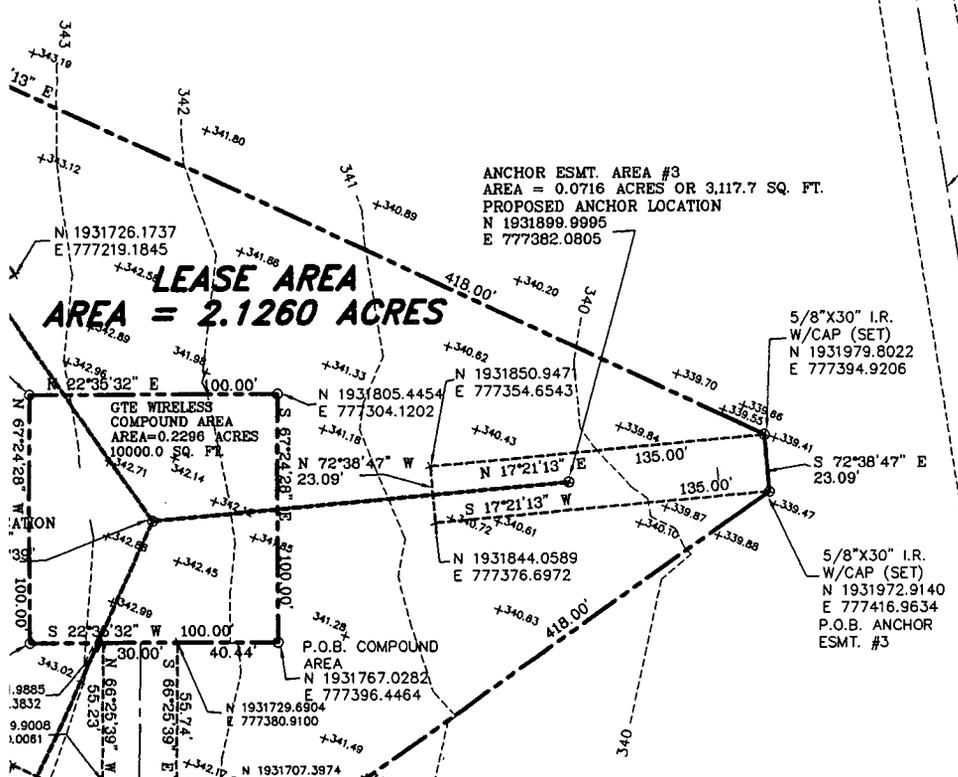
ANCHOR ESMT. AREA #3
AREA = 0.0716 ACRES OR 3,117.7 SQ. FT.
PROPOSED ANCHOR LOCATION
N 1931805.4454
E 777304.1202
N 1931899.9995
E 777382.0805

LEASE AREA
AREA = 2.1260 ACRES

(27)
DUKE VANNI
W.B. XX, I
6321 CAIR
PADUCAH, K

5/8"X30" I.R.
W/CAP (SET)
N 1931979.8022
E 777394.9206

5/8"X30" I.R.
W/CAP (SET)
N 1931972.9140
E 777416.9634
P.O.B. ANCHOR
ESMT. #3



SURVEYOR

I HEREBY CERTIFY THAT
WAS MADE BY ME OR UNIC
METHOD OF RANDOM TRA
DATE OF REVISION 1/12

(24)

DUJE VANNERSON, JR.
W.B. XX, PG. 645
6321 CAIRO ROAD
PADUCAH, KY. 42001

PROPOSED ANCHOR LOCATION
N 1931702.8656
E 777188.0488
ANCHOR ESMT. AREA #2
0.0718 ACRES OR 3,117.7 SQ. FT.

5/8"X30" I.R.
W/CAP (SET)
N 1931674.0840
E 777092.5156
P.O.B. ANCHOR
ESMT. #2

5/8"X30" I.R.
W/CAP (SET)
N 1931896.6178
E 777087.4596

NAME	DELTA	RADI
C-1	21°47'19"	59.0
C-2	28°01'06"	50.0
C-3	28°01'06"	20.0
C-4	21°47'19"	89.0

P & I RAILROAD (100' R/W)

LEASE AREA
AREA = 2.1260

GTE WIRELESS
COMPOUND AREA
AREA=0.2296 ACRES
10000.0 SQ. FT.

PROPOSED TOWER LOCATION
LAT - 37°05'46.84" N
LONG - 088°42'35.27" W
N 1931739.58243
E 777331.95136
ELEV. = 342.42

(25B)
DONALD & BETTIE EDWARDS
P.O. BOX 9174
PADUCAH, KY. 42001

ANCHOR EASEMENT AREA #1
0.0718 ACRES OR 3,117.7 SQ. FT.
E 777445.7755
N 1931616.0836
PROPOSED ANCHOR LOCATION
E 777445.7755

5/8"X30" I.R.
W/CAP (SET)
N 1931549.4072
E 777491.4910

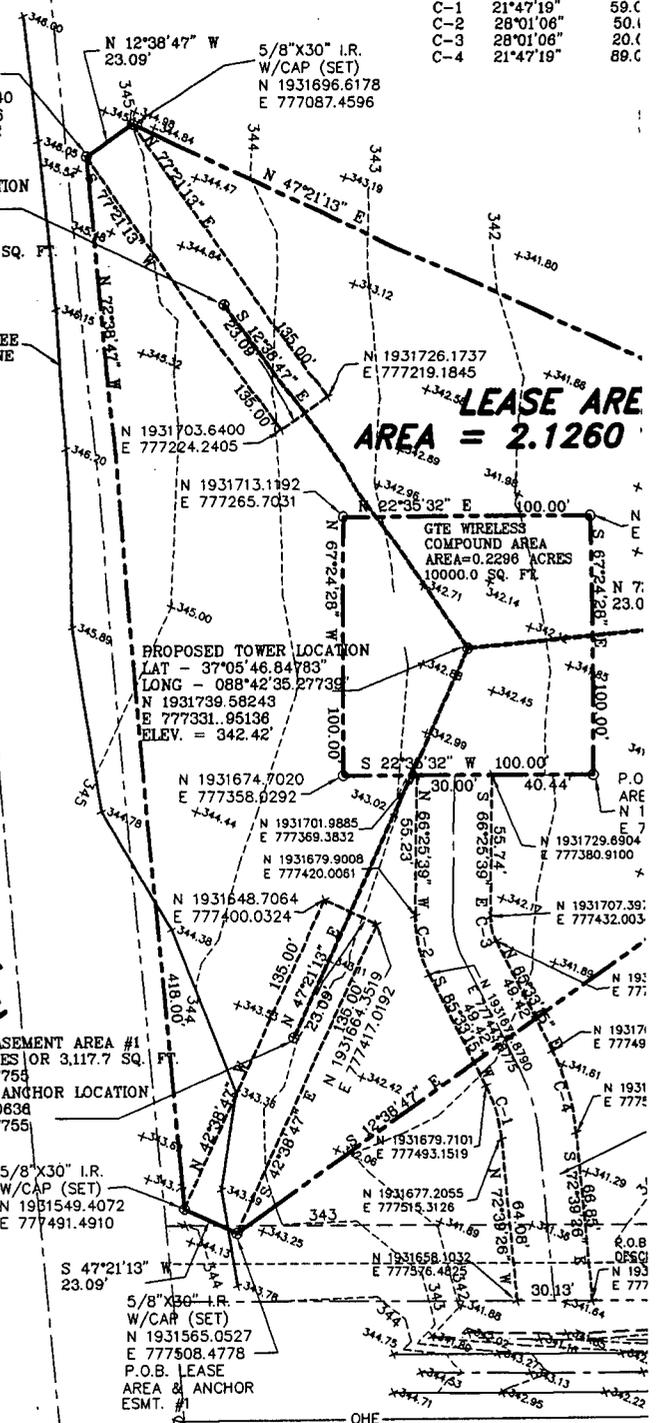
S 47°21'13" W
23.09'

5/8"X30" I.R.
W/CAP (SET)
N 1931565.0527
E 777508.4778
P.O.B. LEASE
AREA & ANCHOR
ESMT. #1

MEREDITH ROAD (1)

(1)
MEREDITH W. ALONZO
6125 CAIRO ROAD
PADUCAH, KY. 42001

(1)
MEREDITH W. ALONZO
6125 CAIRO ROAD
PADUCAH, KY. 42001



KY. STATE PLANE
 COORDINATE SYSTEM
 (KY. SOUTH ZONE)

(27)
DUKE VANNERSON, JR.
W.B. XX, PG. 645
6321 CAIRO ROAD
PADUCAH, KY. 42001

(24)
DUJE VANNERSON, JR.
W.B. XX, PG. 645
6321 CAIRO ROAD
PADUCAH, KY. 42001

NAME	DELTA	RADI
C-1	21°47'19"	59.0
C-2	28°01'06"	50.0
C-3	28°01'06"	20.0
C-4	21°47'19"	89.0

5/8"X30" I.R.
 W/CAP (SET)
 N 1931674.0840
 E 777092.5156
 P.O.B. ANCHOR
 ESMT. #2

PROPOSED ANCHOR LOCATION
 N 1931702.8656
 E 777168.0468
 ANCHOR ESMT. AREA #2
 0.0716 ACRES OR 3,117.7 SQ. FT.

P & I RAILROAD (100' R.)

TREE
 LINE

LEASE AREA
AREA = 2.1260

GTE WIRELESS
 COMPOUND AREA
 AREA=0.2286 ACRES
 (10000.0 SQ. FT.)

PROPOSED TOWER LOCATION
 LAT - 37°05'46.84783"
 LONG - 088°42'35.27735"
 N 1931739.58243
 E 777331.95136
 ELEV. = 342.42

(25B)
DONALD & BETTIE EDWARDS
P.O. BOX 9174
PADUCAH, KY. 42001

N 1931674.7020
 E 777358.0292

N 1931701.9885
 E 777369.3832

N 1931679.9008
 E 777420.0081

N 1931648.7064
 E 777400.0324

N 1931729.6904
 E 777380.9100

N 1931729.6904
 E 777380.9100

N 1931707.3974
 E 777432.0034

N 1931707.3974
 E 777432.0034

NOTICE TO CONTRACTOR

**CALL UNDERGROUND UTILITY
PROTECTION SERVICE
TWO DAYS BEFORE YOU DIG**

Call Monday thru Friday - 7 am. to 6 pm.

1-800-428-5200

PER KENTUCKY STATE LAW, IT IS
AGAINST THE LAW TO EXCAVATE WITHOUT
NOTIFYING THE UNDERGROUND LOCATION SERVICE
TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



N 12° 38' 47" W
23.09'

5/8" X 30" IRON
ROD W/CAP (SET)
N 1931674.0840
E 777092.5156
(TYP. ALL CORNERS)

5/8" X 30" IRON
ROD W/CAP (S
N 1931696.6178
E 777087.4596

PROPOSE
LOCATION
N 1931702
E 7771680
(TYP. ALL

P & L RAILROAD (100' R/W)

EXISTING
TREE
LINE

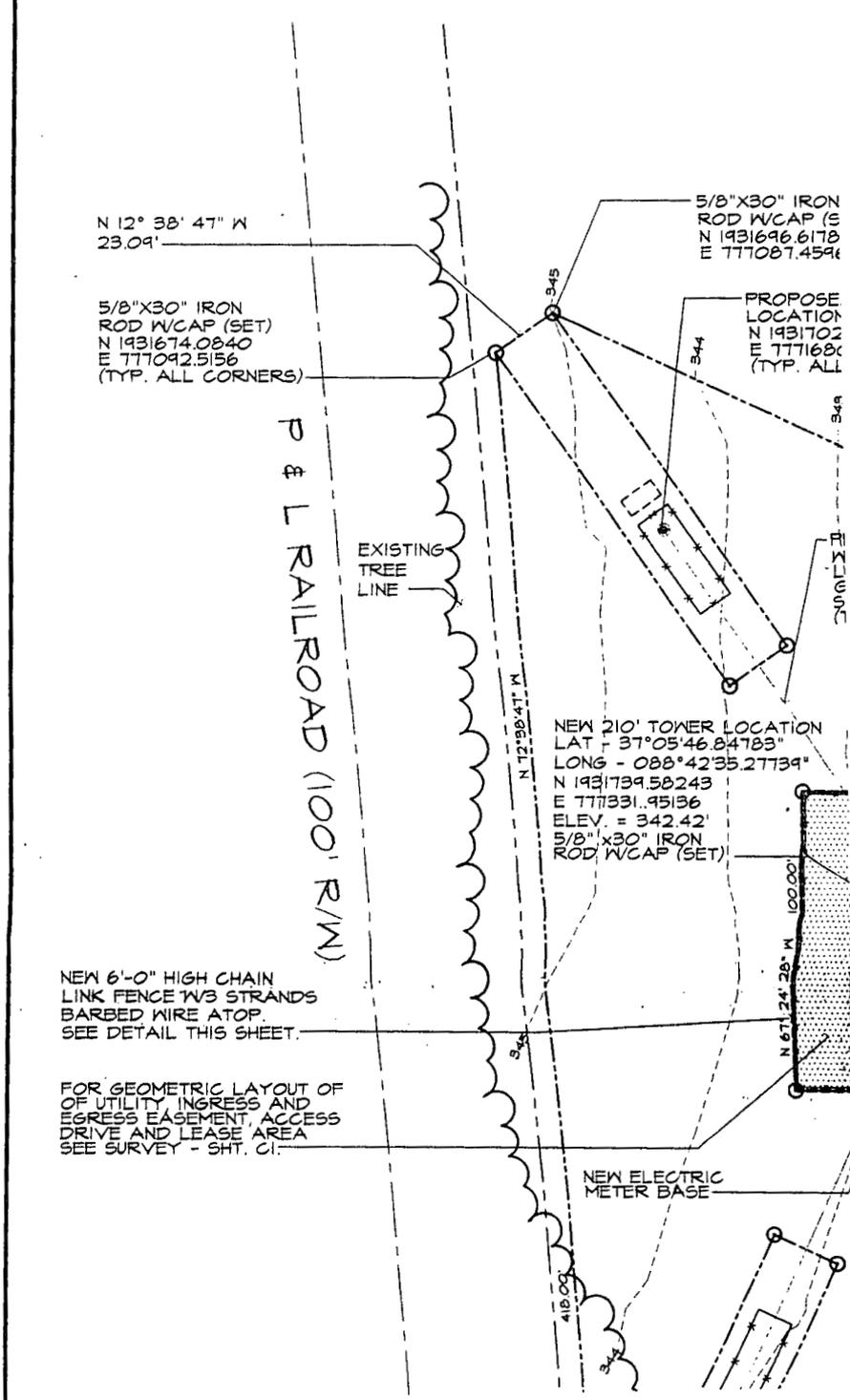
NEW 210' TOWER LOCATION
LAT - 37° 05' 46.84783"
LONG - 088° 42' 35.27739"
N 1931739.50243
E 777331.95136
ELEV. = 342.42'
5/8" X 30" IRON
ROD W/CAP (SET)

NEW 6'-0" HIGH CHAIN
LINK FENCE 1/3 STRANDS
BARBED WIRE ATOP.
SEE DETAIL THIS SHEET.

FOR GEOMETRIC LAYOUT OF
OF UTILITY INGRESS AND
EGRESS EASEMENT, ACCESS
DRIVE AND LEASE AREA
SEE SURVEY - SHT. CI.

NEW ELECTRIC
METER BASE

SED
OR
UST
E IN
NCH



5/8" X30" IRON
ROD W/CAP (SET)
N 1931674.0840
E 777092.5156
(TYP. ALL CORNERS)

PROPOSED
LOCATION
N 1931702
E 777168
(TYP. ALL

P & L RAILROAD (100' R/W)

EXISTING
TREE
LINE

NEW 210' TOWER LOCATION
LAT = 37°05'46.84783"
LONG = 088°42'35.27739"
N 1931739.58243
E 777331.45136
ELEV. = 342.42'
5/8" X30" IRON
ROD W/CAP (SET)

NEW 6'-0" HIGH CHAIN
LINK FENCE W/3 STRANDS
BARBED WIRE ATOP.
SEE DETAIL THIS SHEET.

FOR GEOMETRIC LAYOUT OF
OF UTILITY INGRESS AND
EGRESS EASEMENT, ACCESS
DRIVE AND LEASE AREA
SEE SURVEY - SHT. C1.

NEW ELECTRIC
METER BASE

PROPOSED GUY ANCHOR
LOCATION (TYP. 3)
N 1931616.0636
E 777445.7755
(TYP. ALL ANCHORS)

5/8" X30" IRON
ROD W/CAP (SET)
N 1931549.4072
E 777491.4910
(TYP. ALL CORNERS)

S 47° 21' 13" W
23.09'

5/8" X30" IRON
ROD W/CAP (SET)
N 1931565.0527
E 777508.4778

EXISTING RISER
POLE WITH
OVERHEAD ELECTRIC

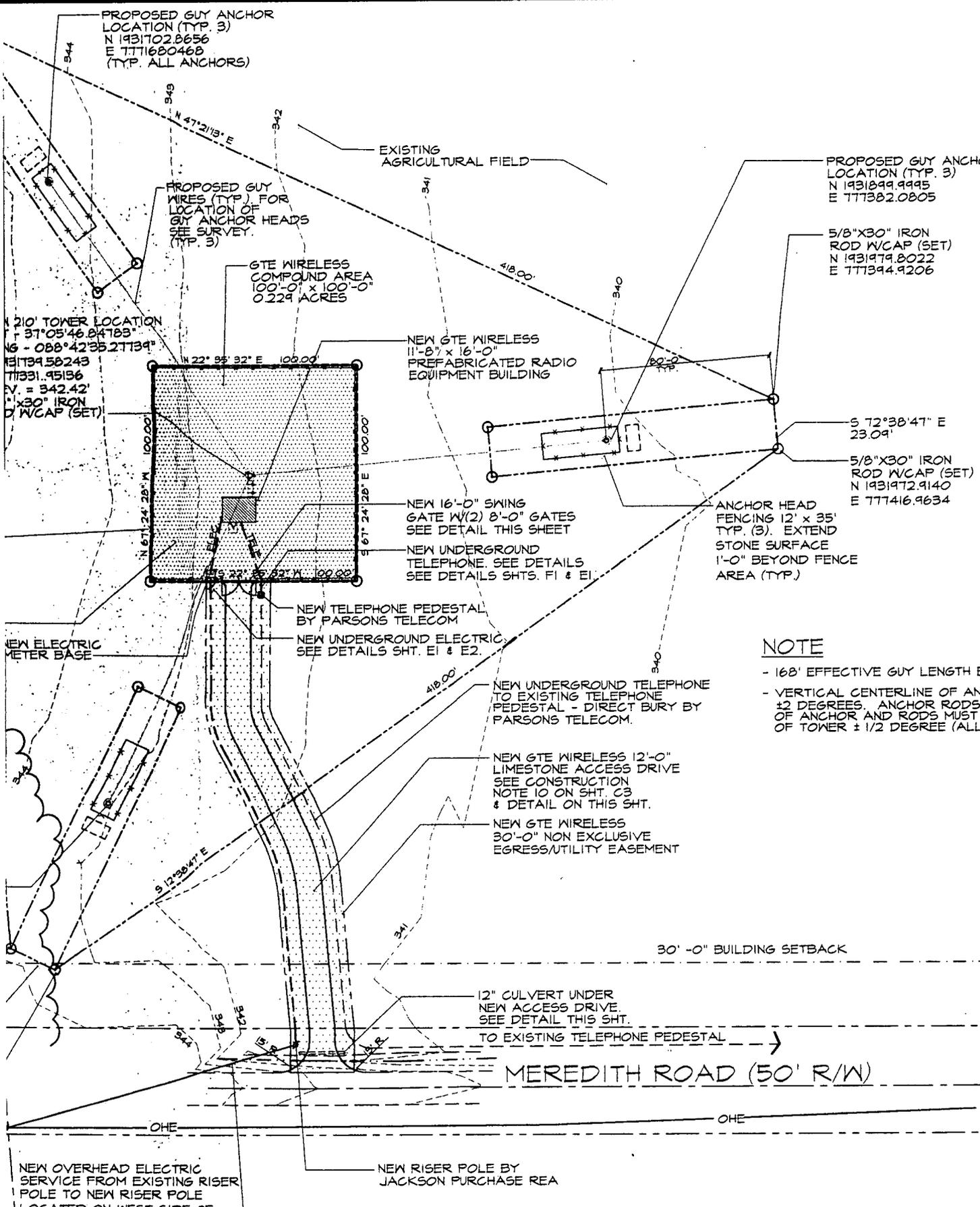
NEW OVERHEAD ELECTRI
SERVICE FROM EXISTING
POLE TO NEW RISER POL
LOCATED ON WEST SIDE
MEREDITH NEAR ACCESS
SEE GENERAL NOTE 8 ON

NOTE:

ALL ELEVATIONS AND TOPOGRAPHIC
INFORMATION WERE TAKEN FROM
A SURVEY DATED JANUARY 12, 1999 AND
SUPPLIED TO GPD ASSOCIATES BY SCI SURVEYORS.
GPD ASSOCIATES HAS NOT VERIFIED
THIS INFORMATION AND DOES NOT
WARRANT ANY INFORMATION
SUPPLIED BY OTHERS.

Cad File: C2.DWG
Date: 02-08-99
TW = 0d0'0.00"
Time: 2:45 PM

Technician: TRACI



PROPOSED GUY ANCHOR LOCATION (TYP. 3)
 N 1931702.8656
 E 7771680468
 (TYP. ALL ANCHORS)

PROPOSED GUY ANCHOR LOCATION (TYP. 3)
 N 1931899.9995
 E 777382.0805

N 210' TOWER LOCATION
 T 37° 05' 46.84783"
 NG - 088° 42' 35.27739"
 E 11394.58243
 T 11331.95136
 V. = 342.42'
 1" X 30" IRON ROD W/CAP (SET)

GTE WIRELESS COMPOUND AREA
 100'-0" x 100'-0"
 0.229 ACRES

NEW GTE WIRELESS 11'-8" x 16'-0" PREFABRICATED RADIO EQUIPMENT BUILDING

5/8" X 30" IRON ROD W/CAP (SET)
 N 1931979.8022
 E 777394.9206

S 72° 38' 47" E 23.04'

5/8" X 30" IRON ROD W/CAP (SET)
 N 1931972.9140
 E 777416.9634

NEW 16'-0" SWING GATE W/ (2) 8'-0" GATES
 SEE DETAIL THIS SHEET

ANCHOR HEAD FENCING 12' x 35' TYP. (3). EXTEND STONE SURFACE 1'-0" BEYOND FENCE AREA (TYP.)

NEW UNDERGROUND TELEPHONE. SEE DETAILS. SEE DETAILS SHTS. FI & EI.

NEW TELEPHONE PEDESTAL BY PARSONS TELECOM

NEW ELECTRIC METER BASE

NEW UNDERGROUND ELECTRIC. SEE DETAILS SHT. EI & E2.

NOTE

- 168' EFFECTIVE GUY LENGTH E
- VERTICAL CENTERLINE OF AN ± 2 DEGREES. ANCHOR RODS OF ANCHOR AND RODS MUST OF TOWER ± 1/2 DEGREE (ALL

NEW UNDERGROUND TELEPHONE TO EXISTING TELEPHONE PEDESTAL - DIRECT BURY BY PARSONS TELECOM.

NEW GTE WIRELESS 12'-0" LIMESTONE ACCESS DRIVE
 SEE CONSTRUCTION NOTE 10 ON SHT. C3 & DETAIL ON THIS SHT.

NEW GTE WIRELESS 30'-0" NON EXCLUSIVE EGRESS/UTILITY EASEMENT

30' -0" BUILDING SETBACK

12" CULVERT UNDER NEW ACCESS DRIVE. SEE DETAIL THIS SHT. TO EXISTING TELEPHONE PEDESTAL

MEREDITH ROAD (50' R/W)

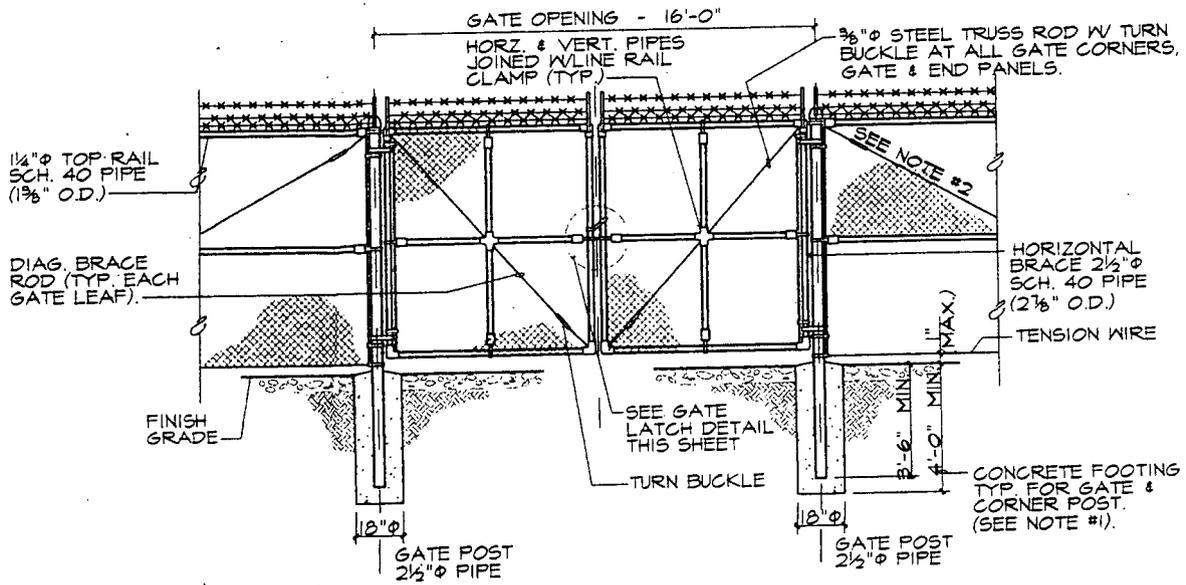
NEW OVERHEAD ELECTRIC SERVICE FROM EXISTING RISER POLE TO NEW RISER POLE LOCATED ON WEST SIDE OF MEREDITH NEAR ACCESS DRIVE. SEE GENERAL NOTE 8 ON C3.

NEW RISER POLE BY JACKSON PURCHASE REA

SITE PLAN

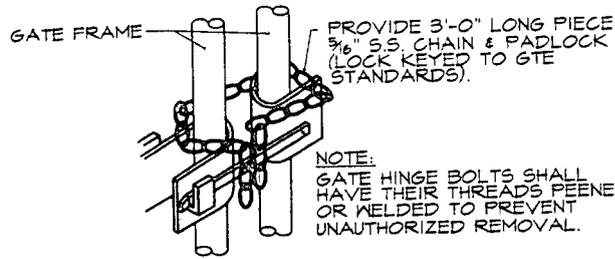
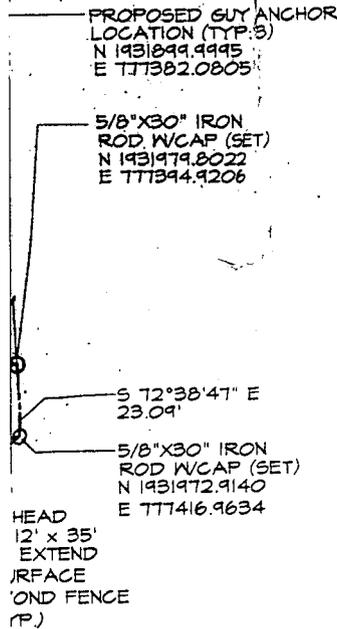
1" = 40'





DOUBLE SWING GATE DETAIL

SCALE: 1/4" = 1'-0"



GATE LATCH DETAIL

NOT TO SCALE

REGRADE DRIVE AND COMPACT 2" OF NO. 3 AGGREGATE LIMEST. (AFTER INSTALLATION TOWER AND BUILDING)

SEED DISTURBED AREA 3 POUNDS/1000 SQ. 60% KENTUCKY BLUE 18% CREEPING RED F 22% ANNUAL RYEGR.

2" OF AGGREGATE E SPREAD AND COMP.

10" SLAG OR LIMEST (INDUST. NO. 1 GRAD) SPREAD AND COMP.

REMOVE TOPSOIL 1'-

NOTE

168' EFFECTIVE GUY LENGTH BASED ON LEVEL GROUND.

VERTICAL CENTERLINE OF ANCHOR HEAD MUST BE PLUMB ±2 DEGREES. ANCHOR RODS MUST BE STRAIGHT. CENTERLINE OF ANCHOR AND RODS MUST BE IN LINE WITH CENTERLINE OF TOWER ± 1/2 DEGREE (ALL ANCHORS).

LEGEND



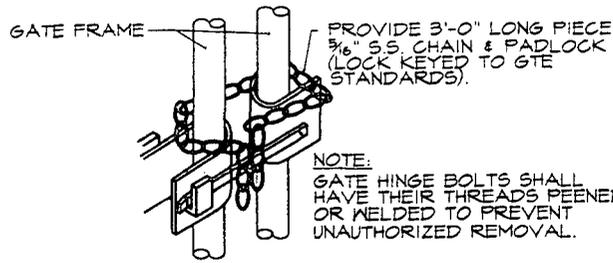
PROPOSED GUY ANCHOR
LOCATION (TYP. 3)
N 1931899.9995
E 777382.0805

5/8" X 30" IRON
ROD W/CAP (SET)
N 1931979.8022
E 777344.9206

S 72°38'47" E
23.09'

5/8" X 30" IRON
ROD W/CAP (SET)
N 1931972.9140
E 777416.9634

ANCHOR HEAD
12' x 35'
EXTEND
SURFACE
BEYOND FENCE
(TYP.)



GATE LATCH DETAIL

NOT TO SCALE

REGRADE DRIVE AND
COMPACT 2" OF NO.
AGGREGATE LIMEST
(AFTER INSTALLATION
TOWER AND BUILDING)

SEED DISTURBED AREA
3 POUNDS/1000 SQ.
60% KENTUCKY BLUE
18% CREEPING RED
22% ANNUAL RYEGRASS

2" OF AGGREGATE
SPREAD AND COMPACT

10" SLAG OR LIMEST
(INDUST. NO. 1 GRAD)
SPREAD AND COMPACT

REMOVE TOPSOIL 1'-

NOTE

168' EFFECTIVE GUY LENGTH BASED ON LEVEL GROUND.

VERTICAL CENTERLINE OF ANCHOR HEAD MUST BE PLUMB
±2 DEGREES. ANCHOR RODS MUST BE STRAIGHT. CENTERLINE
OF ANCHOR AND RODS MUST BE IN LINE WITH CENTERLINE
OF TOWER ± 1/2 DEGREE (ALL ANCHORS).

LEGEND

☒	HUB
○	IRON PIPE
⊙	RE-BAR
△	MONUMENT FOUND
▲	MONUMENT SET
◆	BENCHMARK
---	LEASE LINE
---	SETBACK LINE
---	CENTERLINE
---x---	NEW FENCE LINE
---○---	POWER POLE W/OVERHEAD ELECTRIC
---	EDGE OF NEW GRAVEL DRIVE
---	CONTOURS
---	ACCESS EASEMENT LINE
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
~~~~~	EXISTING TREE LINE

SETBACK

2' R/W

**DIRECTIONS TO SITE:**

FROM INDIANAPOLIS TAKE I-70 WEST TO TERRE HAUTE  
GO SOUTH ON SR-41 TO EVANSVILLE WHICH WILL TURN INTO PENNYRILE PARKWAY  
CONTINUE SOUTH UNTIL WESTERN KENTUCKY PARKWAY.  
TURN RIGHT AND CONTINUE UP AROUND PADUCAH TO SR-305 EXIT.  
TURN LEFT ON SR-305 (CAIRO ROAD) AND CONTINUE PAST SHAFFER ROAD.  
THE NEXT TURN OFF TO THE RIGHT WILL BE MEREDITH ROAD.  
SITE IS LOCATED NORTH OF THE RAILROAD TRACKS.

**NOTE:**

GTE WIRELESS SHALL VERIFY WITH THE CITY OF  
PADUCAH THAT THIS PROPOSED LOCATION  
AND ALL SITE IMPROVEMENTS WILL BE IN COMPLIANCE  
WITH ALL CURRENT ZONING AND PLANNING CODES.

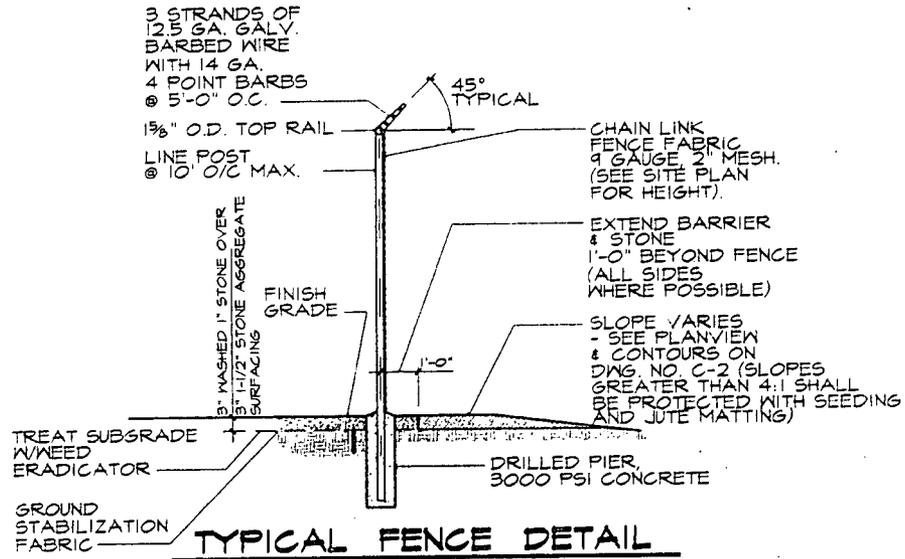


*Ralph A. Hendrick* 2-1

ROD W/ TURN  
BUCKLE CORNERS,  
S.L.S.

HORIZONTAL  
SPACE 2 1/2" @  
SCH. 40 PIPE  
1/2" O.D.)  
EXTENSION WIRE

CONCRETE FOOTING  
FOR GATE &  
POST.  
(NOTE #1).



NOT TO SCALE

RECE  
DOCK

FINISHED

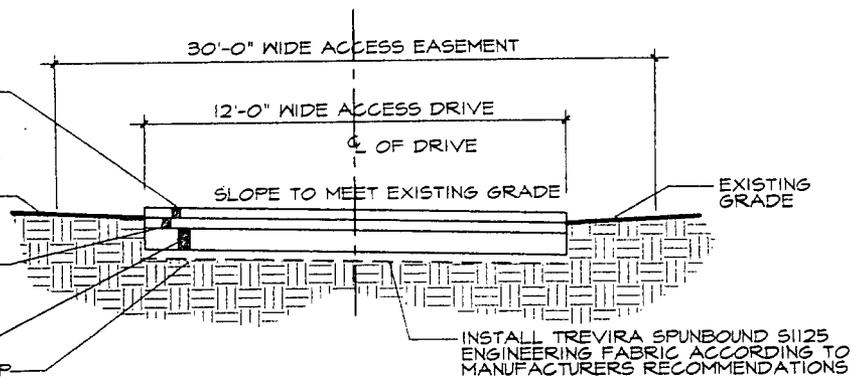
REGRADE DRIVE AND  
COMPACT 2" OF NO. 57  
AGGREGATE LIMESTONE  
(AFTER INSTALLATION OF  
TOWER AND BUILDING)

SEED DISTURBED AREAS  
3 POUNDS/1000 SQ. FT.  
60% KENTUCKY BLUEGRASS  
18% CREEPING RED FESCUE  
22% ANNUAL RYEGRASS

2" OF AGGREGATE BASE  
SPREAD AND COMPACT

10" SLAG OR LIMESTONE  
(INDUST. NO. 1 GRADATION)  
SPREAD AND COMPACT

REMOVE TOPSOIL 1'-0" DEEP



**ACCESS DRIVE TYPICAL SECTION**

NOT TO SCALE

**GENERAL FENCING NOTES**

1. BOTTOM OF CONCRETE BASE SHALL BE SET BELOW FROST LINE (SEE LOCAL CODE). CONCRETE BASE IS RECOMMENDED MINIMUM. WHERE SOIL BEARING CAPACITY IS LESS THAN 2000 PSF, INCREASE CONCRETE SURROUNDING FENCE POST BY 8". PROVIDE CONCRETE WITH A 28 DAY STRENGTH OF 3000 PSI (MIN.).
2. PROVIDE A DIAGONAL BRACE ROD AND TURN BUCKLE, AS SHOWN, ON BOTH SIDES OF THE GATE.
3. ALL PIPE SHALL BE SCHEDULE 40.
4. SEED DISTURBED AREAS 3 POUNDS/1000 SQ. FT. KY 31 FESCUE.



PIECE  
.LOCK

IF  
F. STRENGTHENED

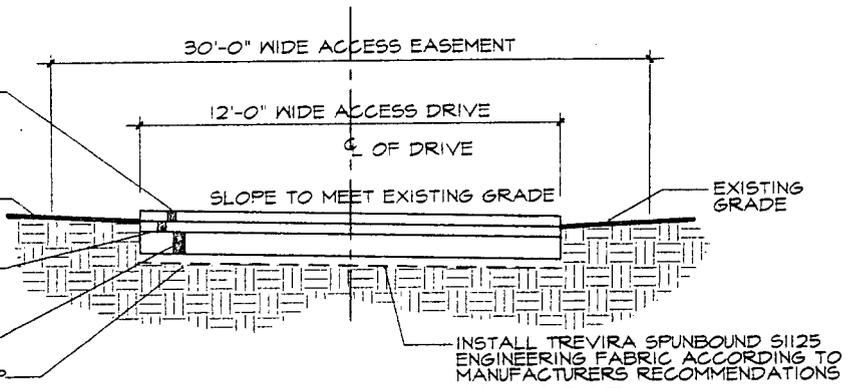
REGRADE DRIVE AND  
COMPACT 2" OF NO. 57  
AGGREGATE LIMESTONE  
(AFTER INSTALLATION OF  
TOWER AND BUILDING)

SEED DISTURBED AREAS  
3 POUNDS/1000 SQ. FT.  
60% KENTUCKY BLUEGRASS  
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22% ANNUAL RYEGRASS

2" OF AGGREGATE BASE  
SPREAD AND COMPACT

10" SLAG OR LIMESTONE  
(INDUST. NO. 1 GRADATION)  
SPREAD AND COMPACT

REMOVE TOPSOIL 1'-0" DEEP



### ACCESS DRIVE TYPICAL SECTION

NOT TO SCALE

### GENERAL FENCING NOTES

1. BOTTOM OF CONCRETE BASE SHALL BE SET BELOW FROST LINE (SEE LOCAL CODE). CONCRETE BASE IS RECOMMENDED MINIMUM. WHERE SOIL BEARING CAPACITY IS LESS THAN 2000 PSF, INCREASE CONCRETE SURROUNDING FENCE POST BY 8". PROVIDE CONCRETE WITH A 28 DAY STRENGTH OF 3000 PSI (MIN).
2. PROVIDE A DIAGONAL BRACE ROD AND TURN BUCKLE, AS SHOWN, ON BOTH SIDES OF THE GATE.
3. ALL PIPE SHALL BE SCHEDULE 40.
4. SEED DISTURBED AREAS 3 POUNDS/1000 SQ. FT. KY 31 FESCUE.

98076.08

OVERHEAD ELECTRIC  
LINE DRIVE

UNDER  
ELECTRIC  
LINE

ROADWAY  
WILL TURN INTO PENNYRILE PARKWAY.  
PARKWAY.  
ROAD TO SR-305 EXIT.  
CONTINUE PAST SHAFFER ROAD,  
SHEDD ROAD,  
TRACKS.

IN  
COMPLIANCE  
WITH DES.



*Ralph A. Hendrick* 12-99

 <b>GPD ASSOCIATES</b> ENGINEERS ARCHITECTS PLANNERS 2647 Waterfront Parkway, Suite 150 Indianapolis, Indiana 46214 317-299-2886 FAX 317-293-1331			
<b>GTE WIRELESS INC.</b> 245 PERIMETER CENTER PARKWAY ATLANTA, GEORGIA 30346			
PROJECT TITLE: <b>PADUCAH WEST CELL SITE          PADUCAH, KENTUCKY</b>			
DESIGN BY: TTP	<b>SITE PLAN</b>		
DRAWN BY: TTP			
CHECKED BY: KR	<b>VANNERSON LEASE AREA</b>		SHEET No.
DATE: 12-1-98			OF
SCALE: AS NOTED	WORK ORDER No.	CGSA	<b>C2</b>
REVISIONS:		APPROVALS:	
SUBJECT:	DATE:		
		MGR. LAND & BLDGS.	DIRECTOR - OPERATIONS
		DIRECTOR - NETWORK SERVICE	
		GENERAL MANAGER	PRESIDENT

McBRAYER, MCGINNIS, LESLIE & KIRKLAND PLLC

163 WEST SHORT STREET

SUITE 300

LEXINGTON, KENTUCKY 40507-1361

606-231-8780

FACSIMILE 606-231-6518

REAL ESTATE FAX 606-255-9777

WWW.MMLK.COM

W. TERRY McBRAYER  
JOHN R. MCGINNIS  
PHILLIP BRUCE LESLIE *  
WILLIAM D. KIRKLAND  
J. D. ATKINSON, JR.  
JAMES G. AMATO  
GEORGE D. GREGORY **  
BRENT L. CALDWELL  
W. BRENT RICE  
JAMES H. FRAZIER, III +  
STEPHEN C. CAWOOD  
CHRISTOPHER M. HILL  
LISA ENGLISH HINKLE  
WILLIAM R. PALMER, JR.  
BRUCE W. MACDONALD *  
LUKE BENTLEY III  
STEPHEN G. AMATO  
MARY ESTES HAGGIN  
R. STEPHEN MCGINNIS ++  
JON A. WOODALL  
MARIA S. BUCKLES  
MARGARET M. YOUNG  
JULIE A. COBBLE  
MELINDA G. WILSON  
MARY ELIZABETH CUTTER  
LINDA J. WEST  
JARON P. BLANDFORD

* ALSO ADMITTED IN OHIO

** ALSO ADMITTED IN COLORADO

+ ALSO ADMITTED IN TEXAS & FLORIDA

++ ALSO ADMITTED IN WEST VIRGINIA

May 6, 1999

WATSON CLAY (1908-1985)  
OSCAR SAMMONS (1908-1985)

MAIN & HARRISON STREETS  
P. O. BOX 347  
GREENUP, KENTUCKY 41144-0347  
606-473-7303  
FACSIMILE 606-473-9003

300 STATE NATIONAL  
BANK BUILDING  
P. O. BOX 1100  
FRANKFORT, KENTUCKY 40602-1100  
502-223-1200  
FACSIMILE 502-227-7385

DIRECTOR OF GOVERNMENTAL RELATIONS  
MIKE HELTON  
STATE NATIONAL BANK BUILDING  
305 ANN STREET  
SUITE 308  
FRANKFORT, KENTUCKY 40601-2847  
502-875-1176  
FACSIMILE 502-226-6234

Ms. Stephanie Bell  
Secretary of the Commission  
Kentucky Public Service Commission  
P.O. Box 615  
730 Schenkel Lane  
Frankfort, KY 40601

RECEIVED

MAY 10 1999

PUBLIC SERVICE  
COMMISSION

RE: Case Number 99-181

Dear Ms. Bell:

This letter is to follow up my request for a case number on May 5, 1999. The application is on behalf of Kentucky RSA No. 1 Partnership, for a cell site located off Meredith Road, Paducah, McCracken County, Kentucky. I was given Case Number 99-181. We intend to file the application no later than May 7, 1999. If there are any questions, you may contact the undersigned at our Lexington office (606)231-8780). Thank you for your attention to this matter.

Sincerely,

*W Brent Rice / dpw*

W. Brent Rice

WBR/dkw